



BURFORD RESIDENCE
 ISLE OF HOPE
 SAVANNAH GA
 TRIPLE B CONSTRUCTION
 2805C Rogers Lacey Ave.
 Savannah, GA 31404
 912-355-2626



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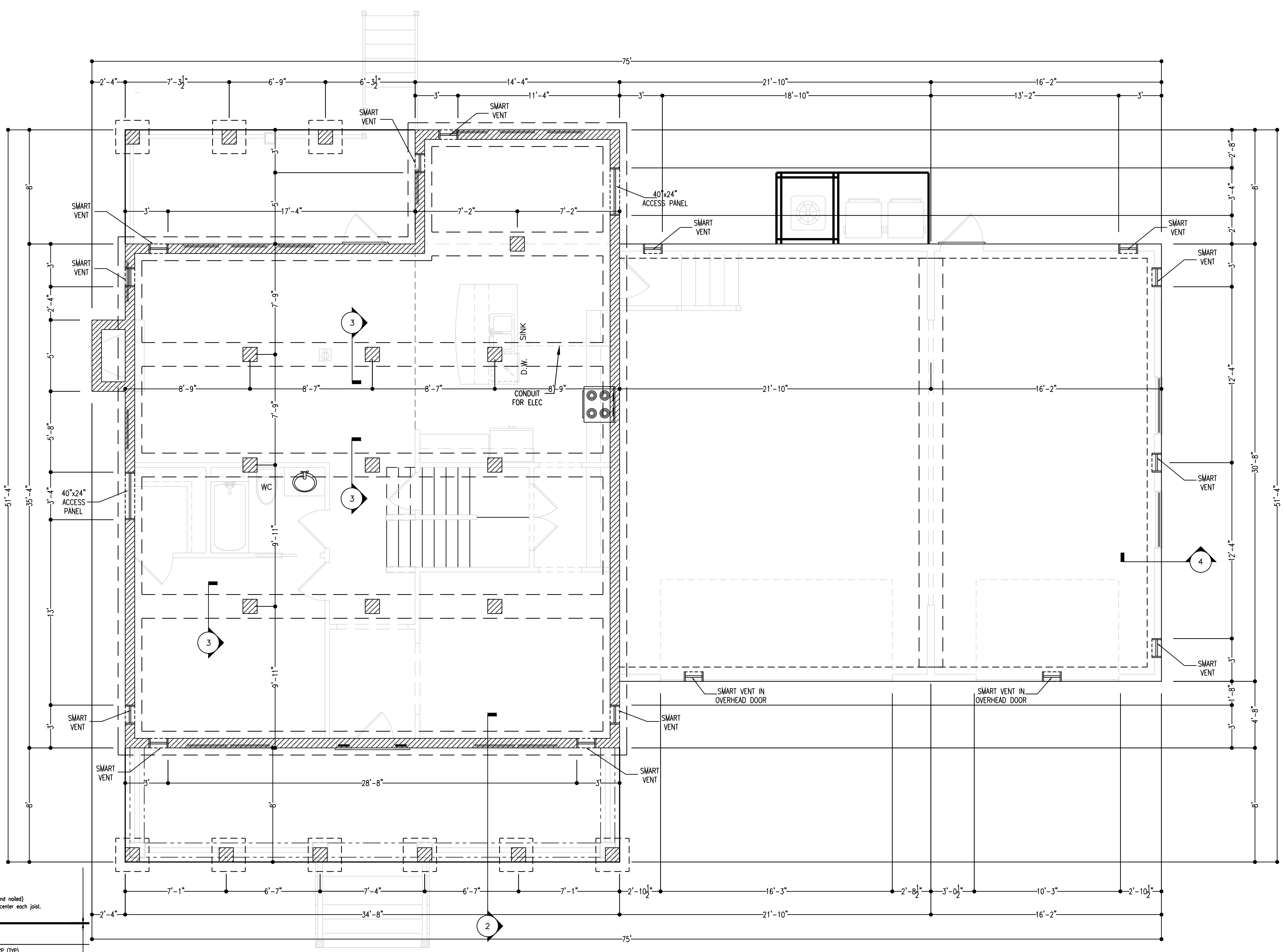
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DATE: ---
 MARCH 22, 2016
 PROJECT NO: ---
 CAD DWG FILE: FOUNDATION PLANNING

DRAWN BY: ---
 CHK'D BY: ---
FOUNDATION PLAN

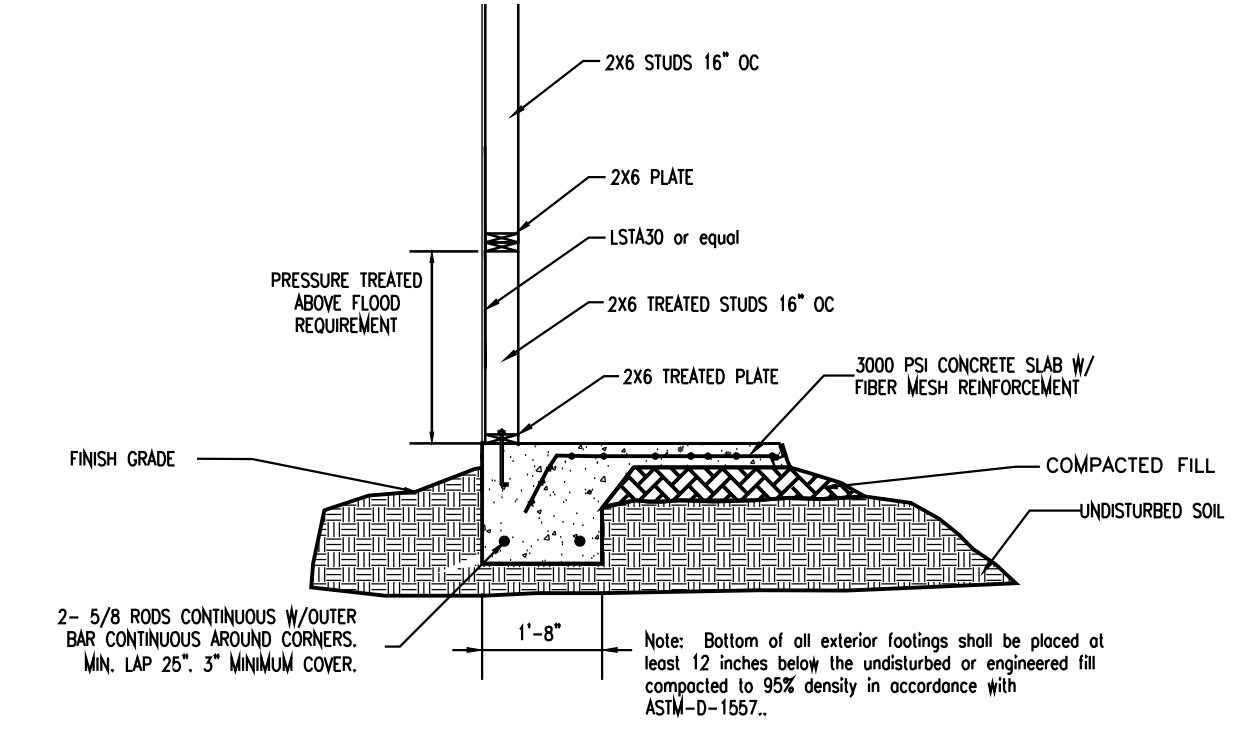
A1.0

FOR CONSTRUCTION

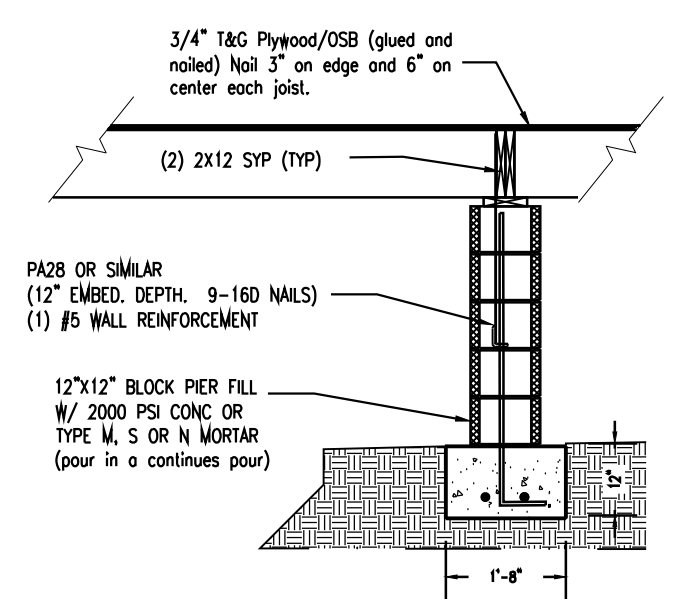


1 FOUNDATION PLAN
 Scale 1/4" = 1'-0"

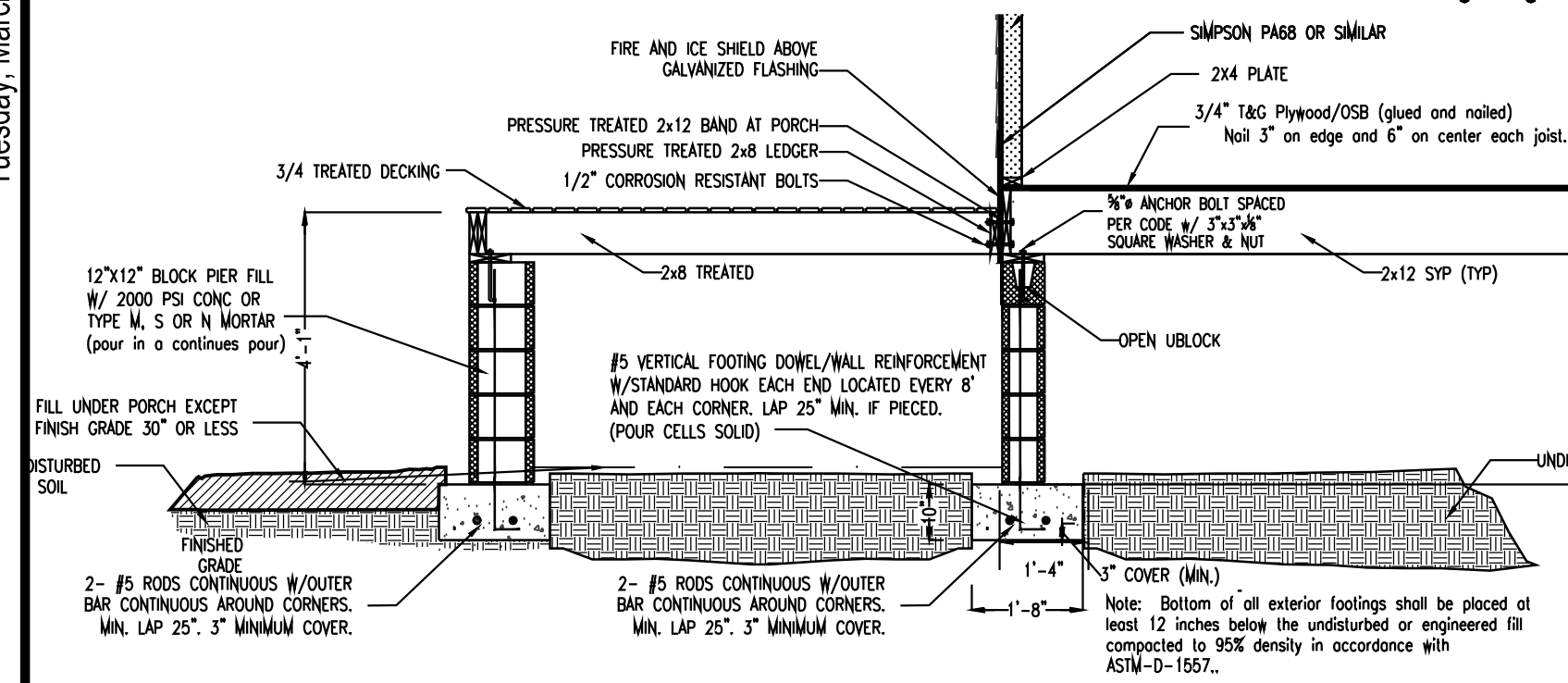
USE OF SMART VENTS
 CONTRACTOR CAN USE SMART VENTS
 (200 SQ. FT. PER VENT)
 SMART VENTS TO BE LOCATED
 UNDER FEMA FLOOD 14'.
 BOTTOM OF VENTS PLACED
 IN CRAWL SPACES TO BE SET
 AT 2" ABOVE FINAL GRADE.
 ACCESS PANELS/ENTRY WILL BE KEPT
 IF SMART VENTS ARE USED.



4 GARAGE DETAIL
 Scale 1/2" = 1'-0"



3 INTERIOR FOOTING
 Scale 1/2" = 1'-0"



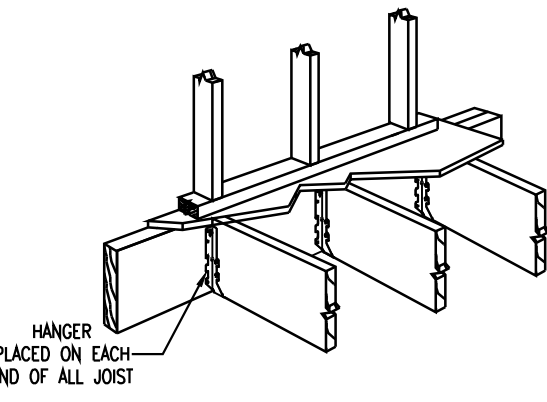
2 FRONT AND PORCH
 Scale 1/2" = 1'-0"

Note: Prior to construction, all building area, plus approx. 5 feet on each side, should be stripped of all vegetation, top soil, root systems, and existing pavements, foreign objects and debris.
 Note: Soil Bearing of 2000# is assumed per Table R401.4.1 in the IRC (2006). Bottom of all exterior footings shall be placed at least 12 inches below the undisturbed or engineered fill compacted to 95% density in accordance with ASTM-D-1557.
 Owner did not furnish test to establish S.B.P. Owner assumes any and all responsibility for any and all foundation settlement and holds harmless engineer.

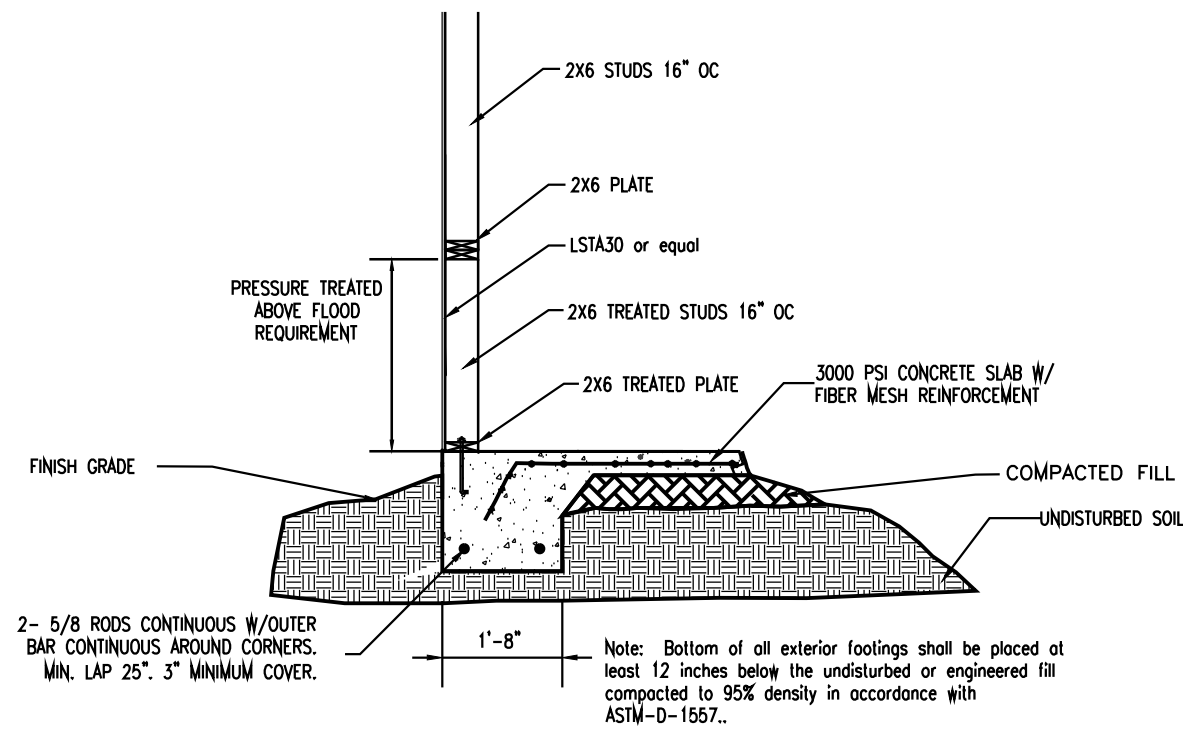
SHOWCASE DESIGNS

Tuesday, March 26, 2024 7:41:39 AM

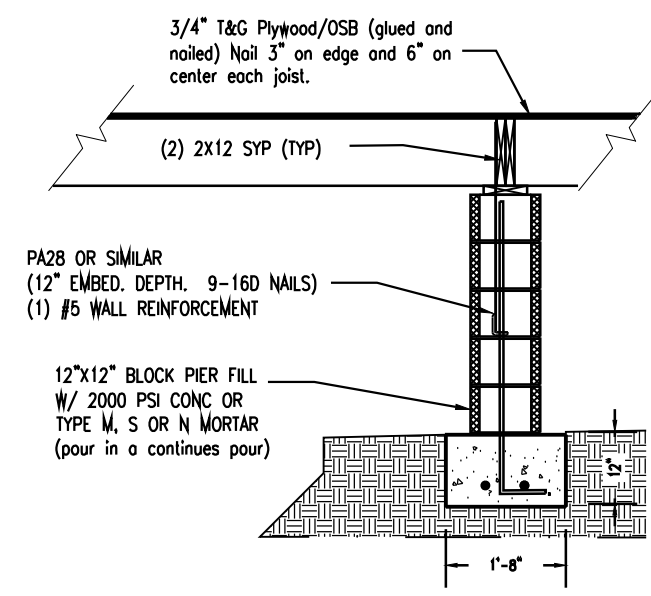
FOR CONSTRUCTION



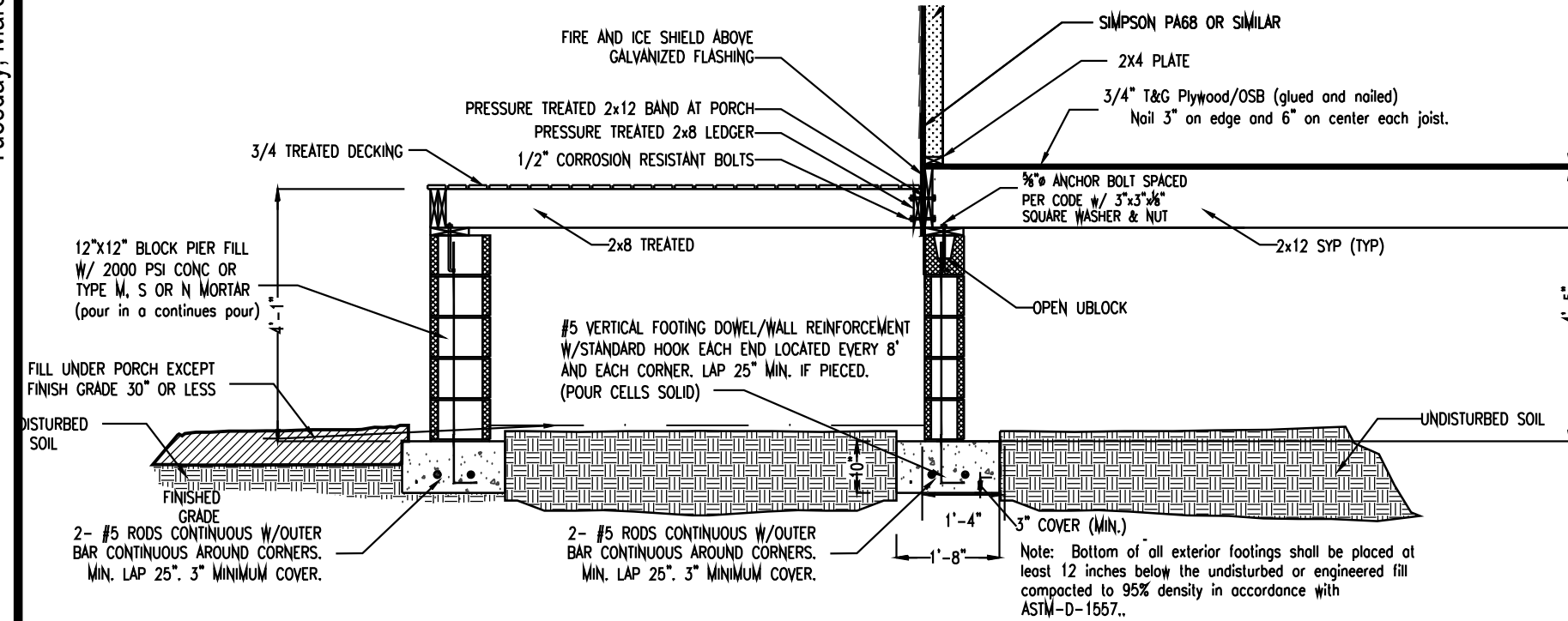
5 JOIST HANGER
SCALE 1/2" = 1'-0"



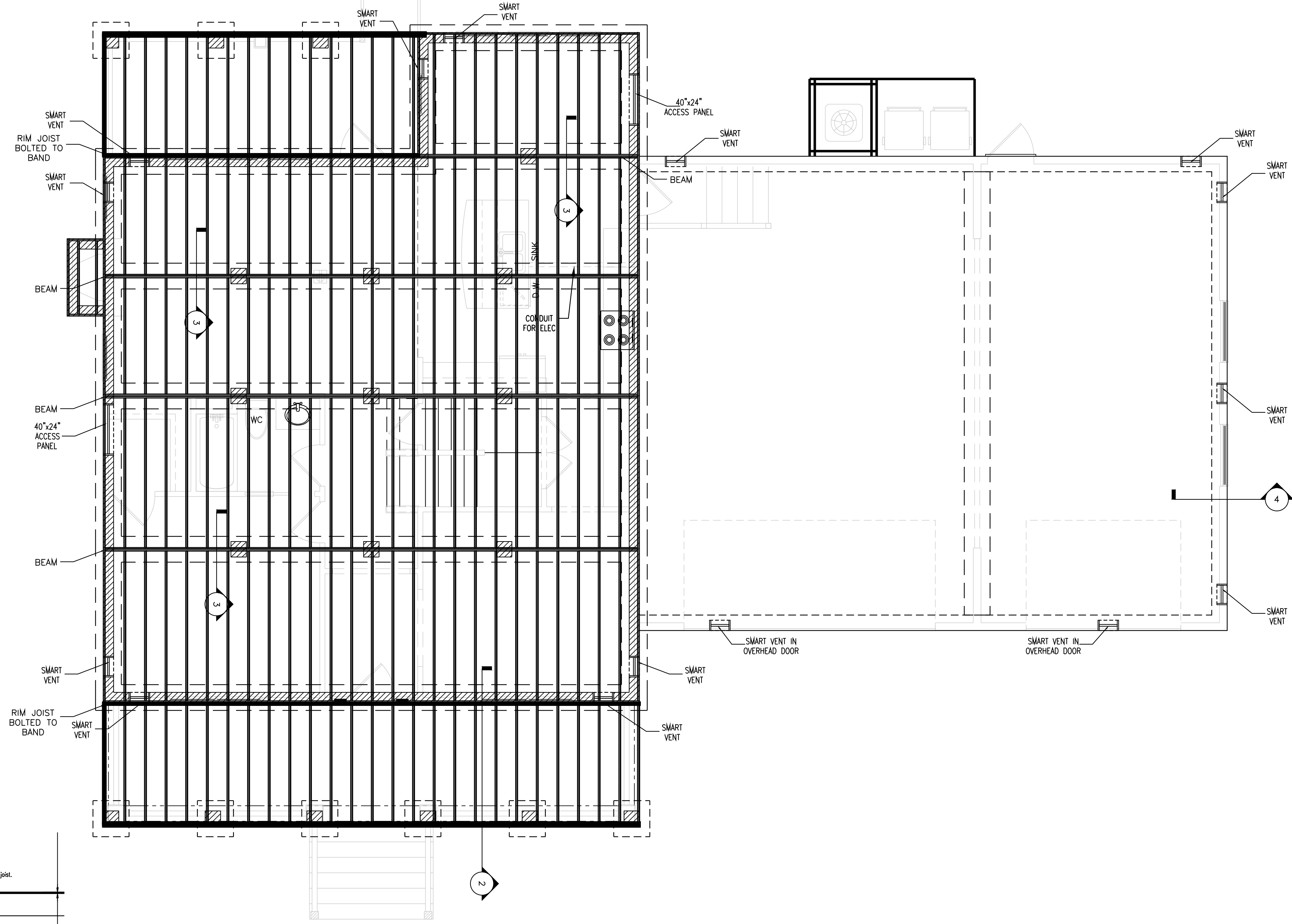
4 GARAGE DETAIL
SCALE 1/2" = 1'-0"



3 INTERIOR FOOTING
SCALE 1/2" = 1'-0"



2 FRONT AND PORCH
SCALE 1/2" = 1'-0"



1 FOUNDATION PLAN
Scale 1/4" = 1'-0"

USE OF SMART VENTS
CONTRACTOR CAN USE SMART VENTS
(200 SQ. FT. PER VENT)

SMART VENTS TO BE LOCATED
UNDER FEMA FLOOD 14'.

BOTTOM OF VENTS PLACED
IN CRAWL SPACES TO BE SET
AT 2" ABOVE FINAL GRADE.

ACCESS PANELS/ENTRY WILL BE KEPT
IF SMART VENTS ARE USED.

Note: Prior to construction, all building area, plus approx. 5 feet on each side, should be stripped of all vegetation, top soil, root systems, and existing pavements, foreign objects and debris.

Note: Soil Bearing of 2000# is assumed per Table R401.4.1 in the IRC (2006). Bottom of all exterior footings shall be placed at least 12 inches below the undisturbed substrate soil or engineered fill compacted to 95% density in accordance with ASTM-D-1557.

Owner did not furnish test to establish S.B.P. Owner assumes any and all responsibility for any and all foundation settlement and holds harmless engineer.



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DATE: MARCH 22, 2016
PROJECT NO.:
CAD DWG FILE: 1 SUBFLOOR PLAN.DWG

DRAWN BY:
CHK'D BY:
A1.1 SUBFLOOR PLAN

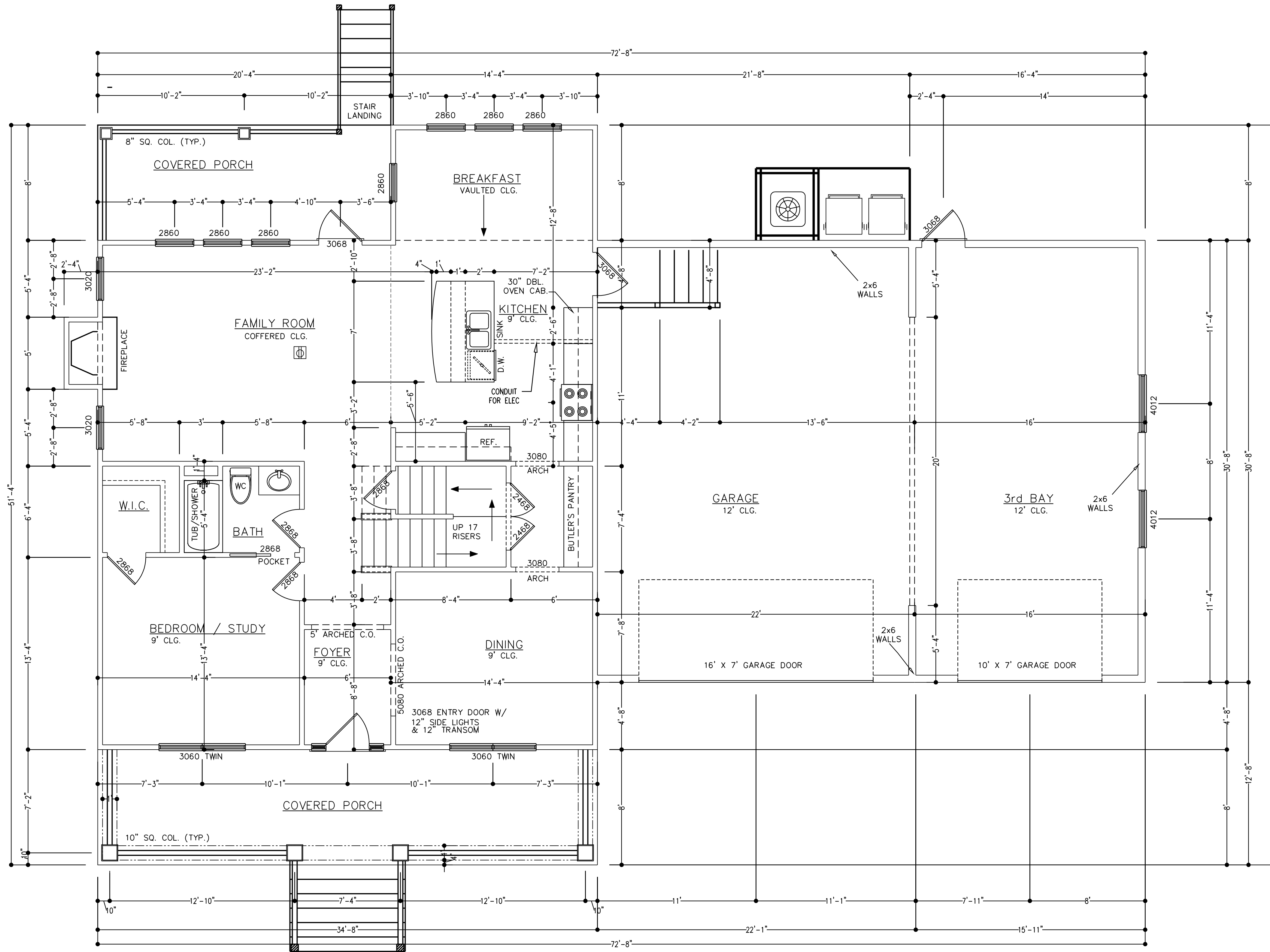
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TOTAL SQUARE FOOTAGE


FRONT PORCH	277.17 SF
GARAGE	1165.33 SF
HEATED 1ST FLOOR	1351.22 SF
HEATED 2ND FLOOR	1744.22 SF
REAR PORCH	172.22 SF
TOTAL	4710.17 SF

HEATED SQUARE FOOTAGE

HEATED 1ST FLOOR	1351.22 SF
HEATED 2ND FLOOR	1744.22 SF
TOTAL	3095.44 SF

UNHEATED SQUARE FOOTAGE

FRONT PORCH	277.17 SF
GARAGE	1165.33 SF
REAR PORCH	172.22 SF
TOTAL	1614.73 SF




912-756-DRAW

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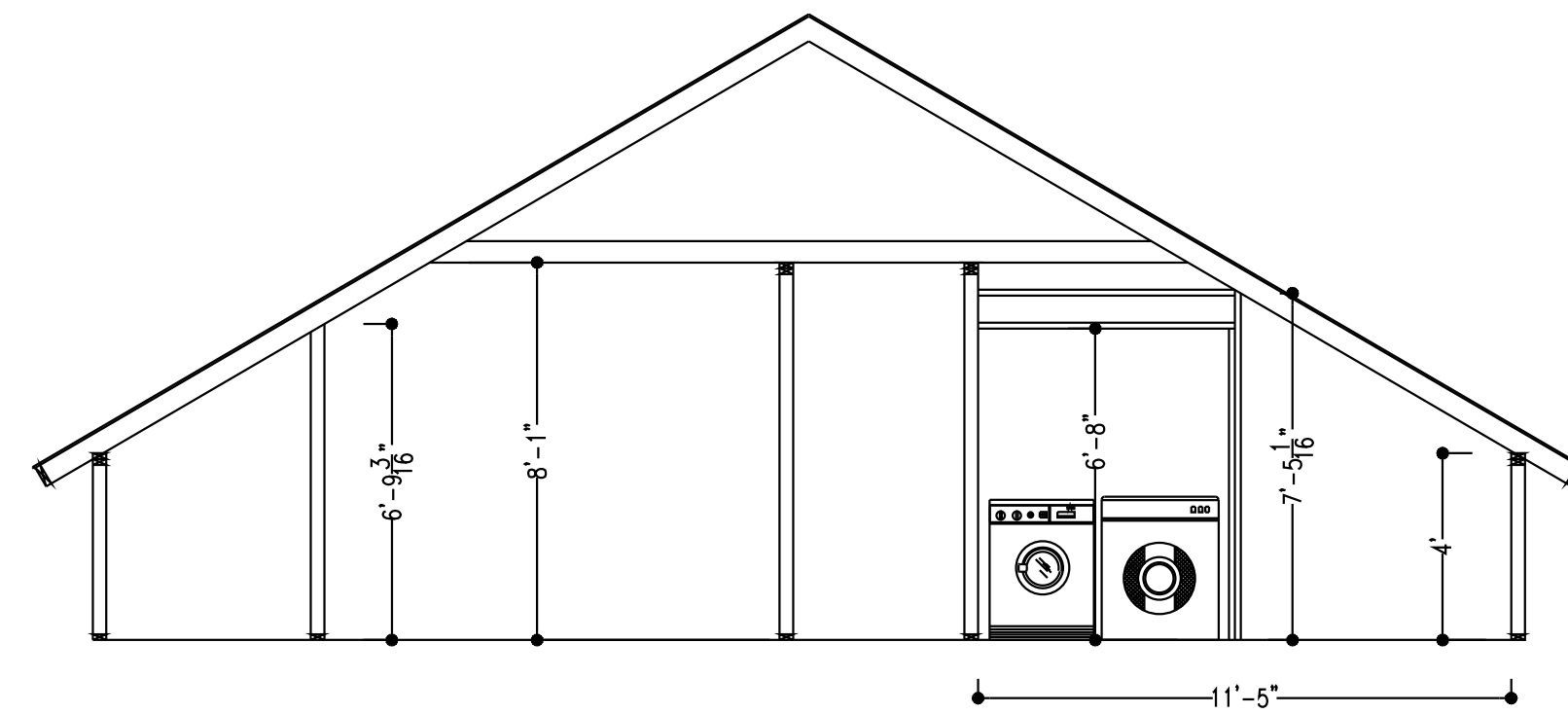
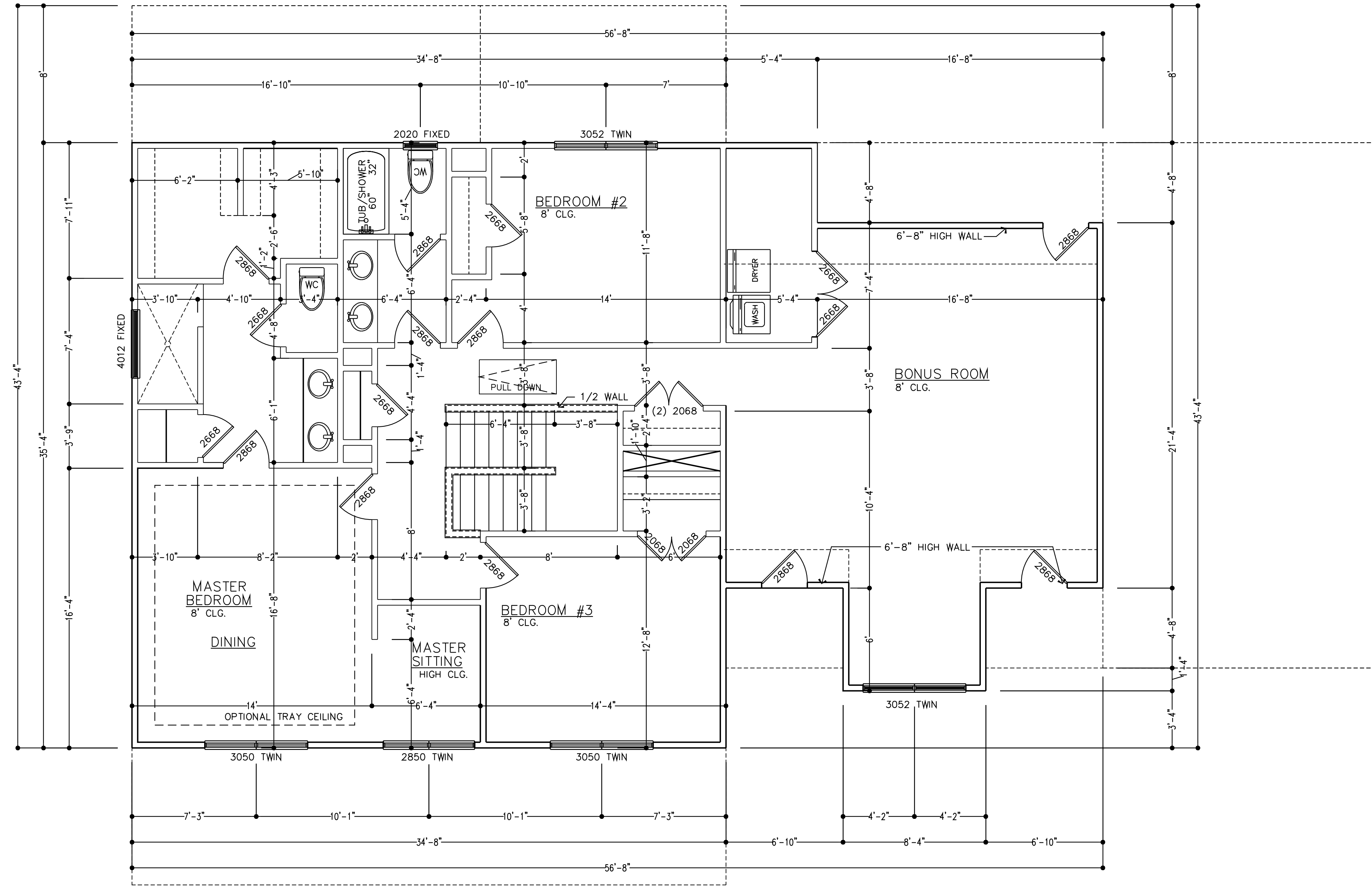
DATE: ---
MARCH 22, 2016


PROJECT NO: ---
CAD DWG FILE: 0 FLOOR PLAN.DWG
DRAWN BY: ---
CHK'D BY: ---

FLOOR PLAN

A2.0

SHEET --- OF ---






912-756-DRAW

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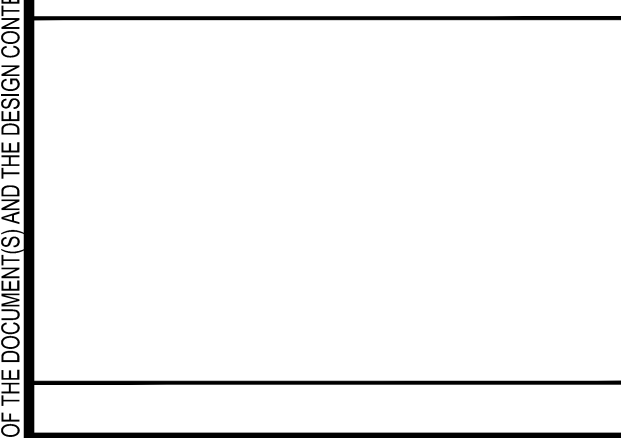
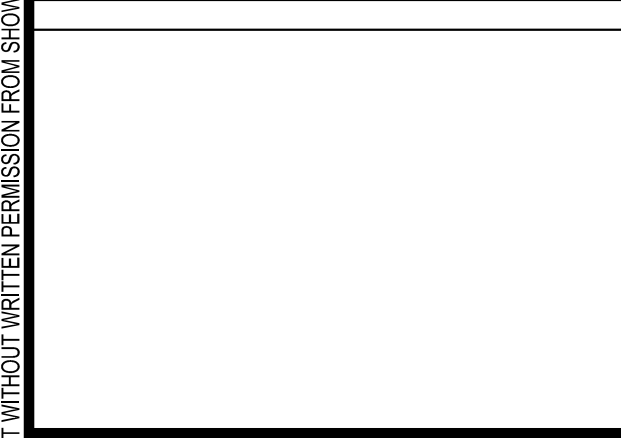
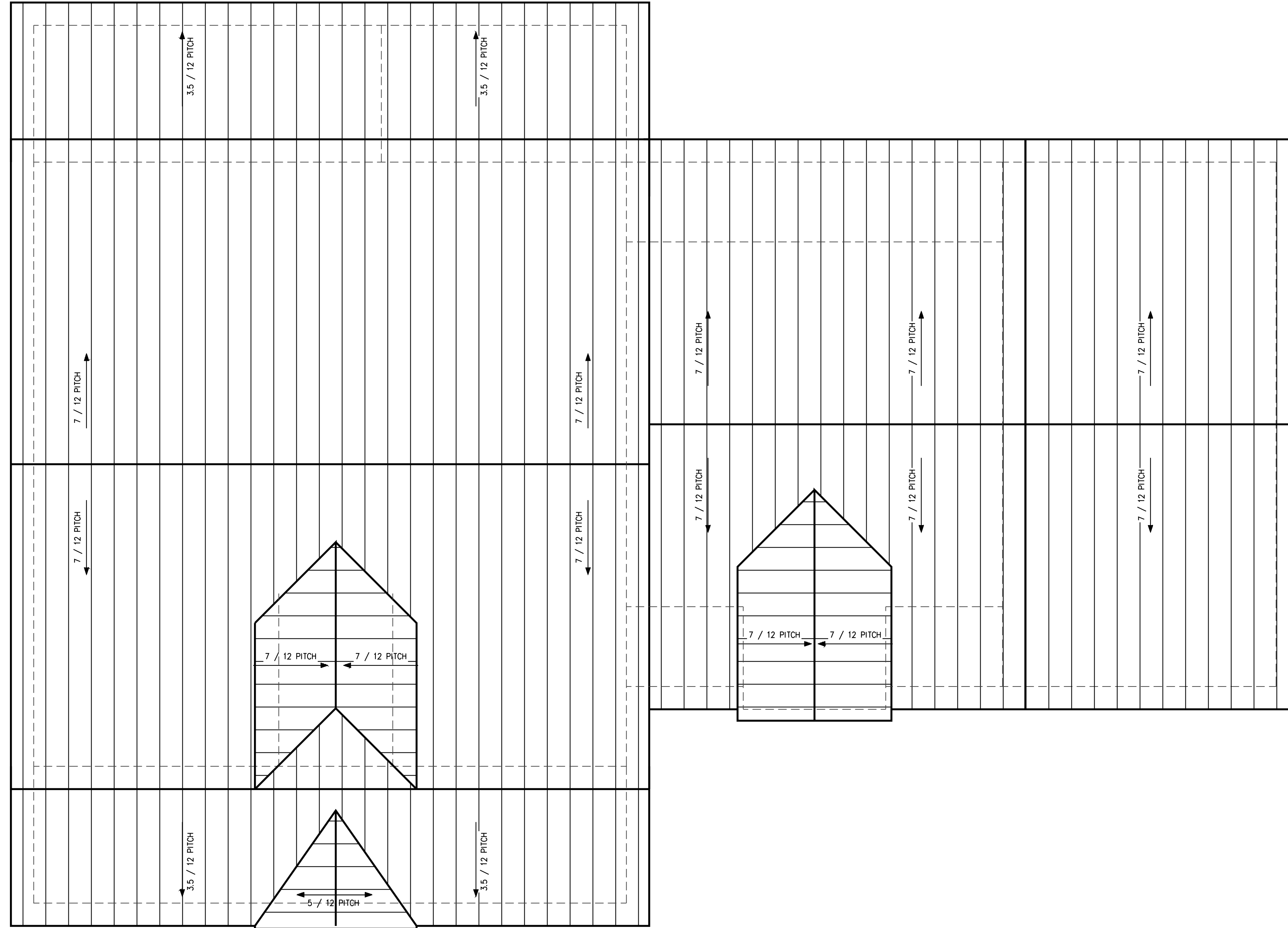
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DATE	---
MARCH 22, 2016	---
PROJECT NO	---
CAD DWG FILE	FLOOR PLAN/10
DRAWN BY	---
CHK'D BY	---

FLOOR PLAN

A2.1

SHEET --- OF ---



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DATE ---
 MARCH 22, 2016
 --

PROJECT NO: ---
 CAD DWG FILE: ROOF PLAN.DWG
 DRAWN BY: --
 CHK'D BY: --

ROOF PLAN
 A3.0

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DATE: ---
 MARCH 22, 2016

PROJECT NO: ---
 CAD DWG FILE: 0 ELEVATIONS.DWG
 DRAWN BY: ---
 CHK'D BY: ---

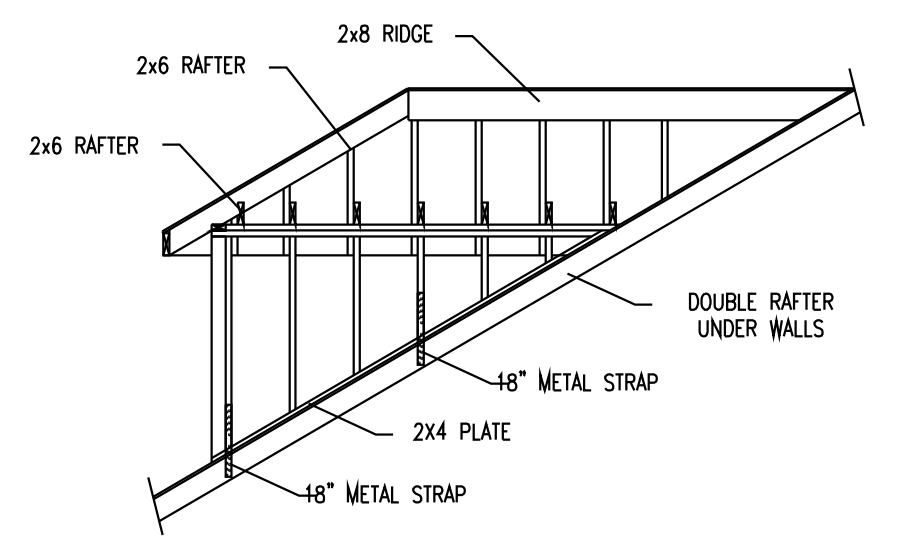
ELEVATIONS
 A4.0

SHEET --- OF ---

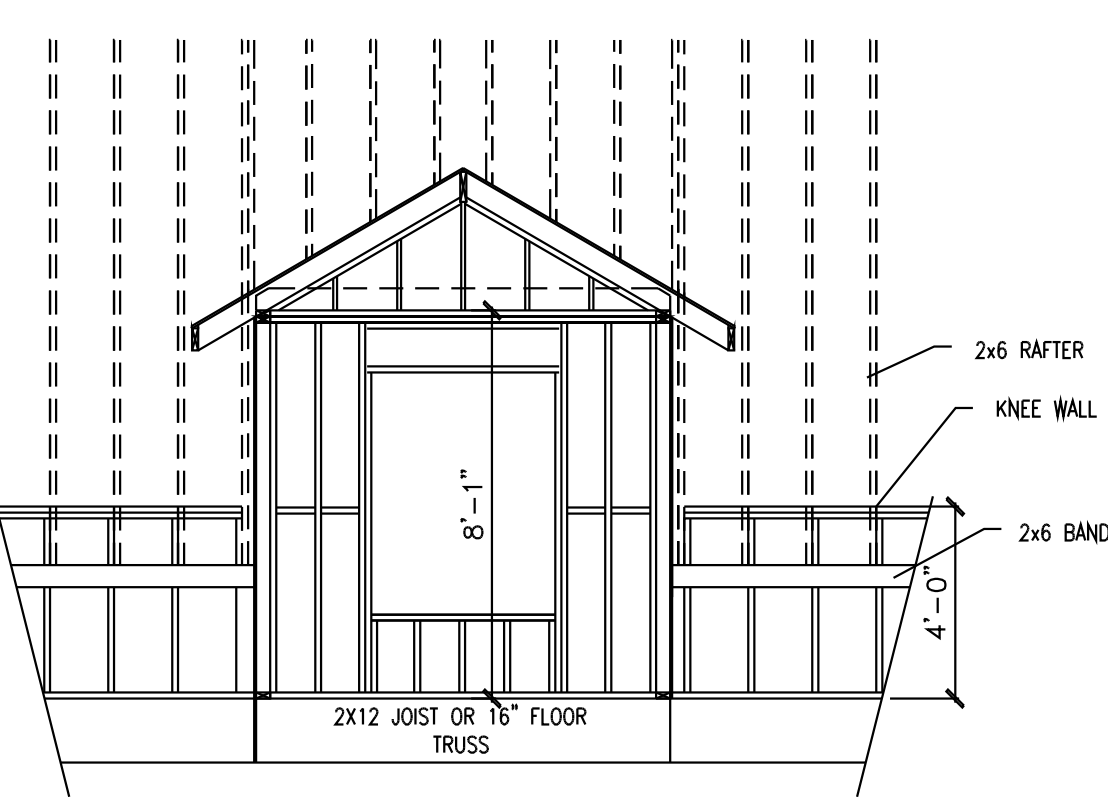
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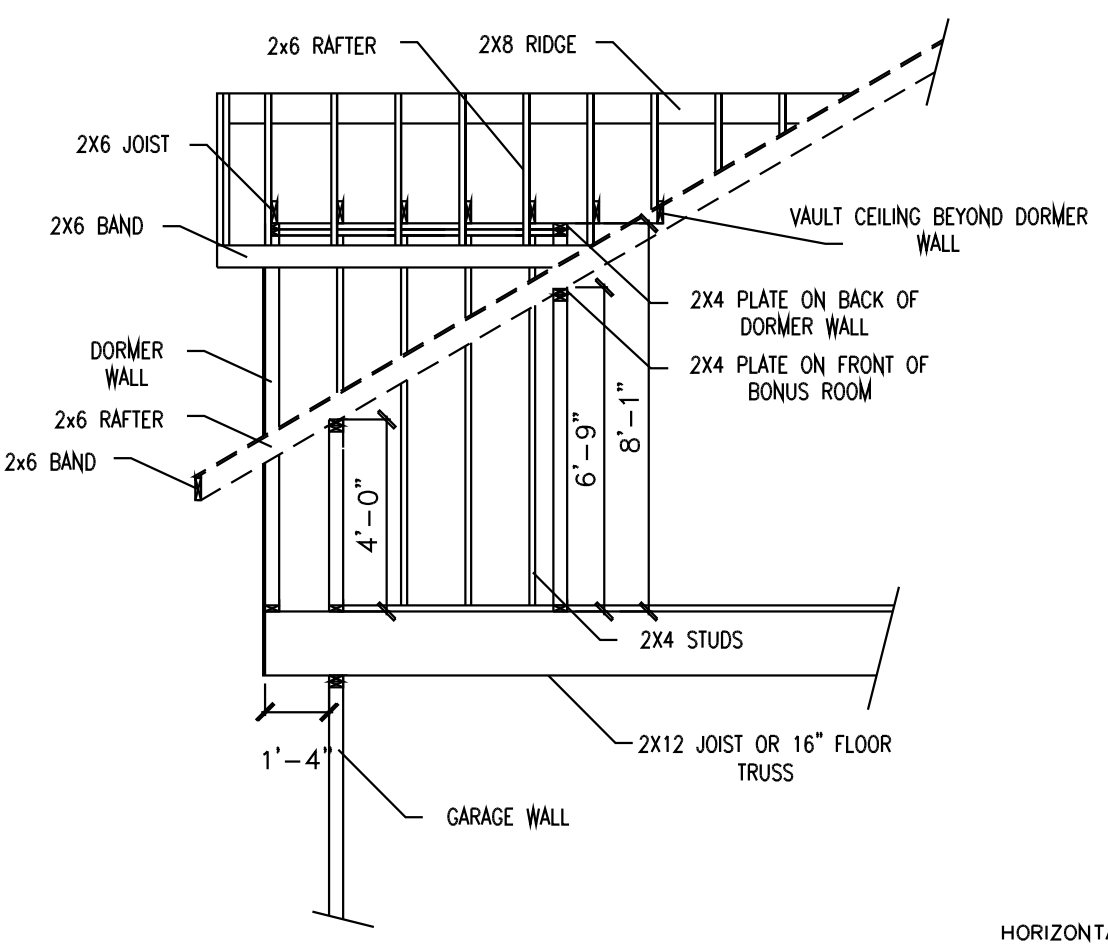
FOR CONSTRUCTION



ROOF DORMER DETAIL
 Scale 1/4" = 1'-0"



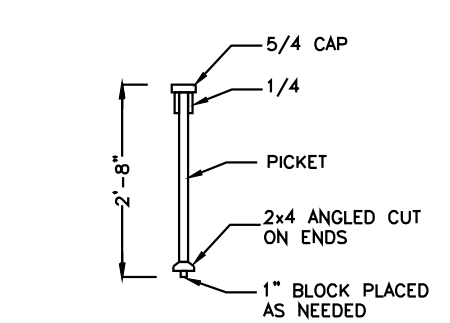
BONUS DORMER FRONT DETAIL
 Scale 1/4" = 1'-0"



BONUS DORMER SIDE DETAIL
 Scale 1/4" = 1'-0"



FRONT ELEVATION
 SCALE 1/4" = 1'



HANDRAIL DETAIL
 Scale 1/4" = 1'-0"



REAR ELEVATION
 SCALE 1/4" = 1'

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DATE ---
MARCH 22, 2016

PROJECT NO: ---
CAD DWG FILE: 1 ELEVATIONS.DWG
DRAWN BY: ---
CHK'D BY: ---

ELEVATIONS

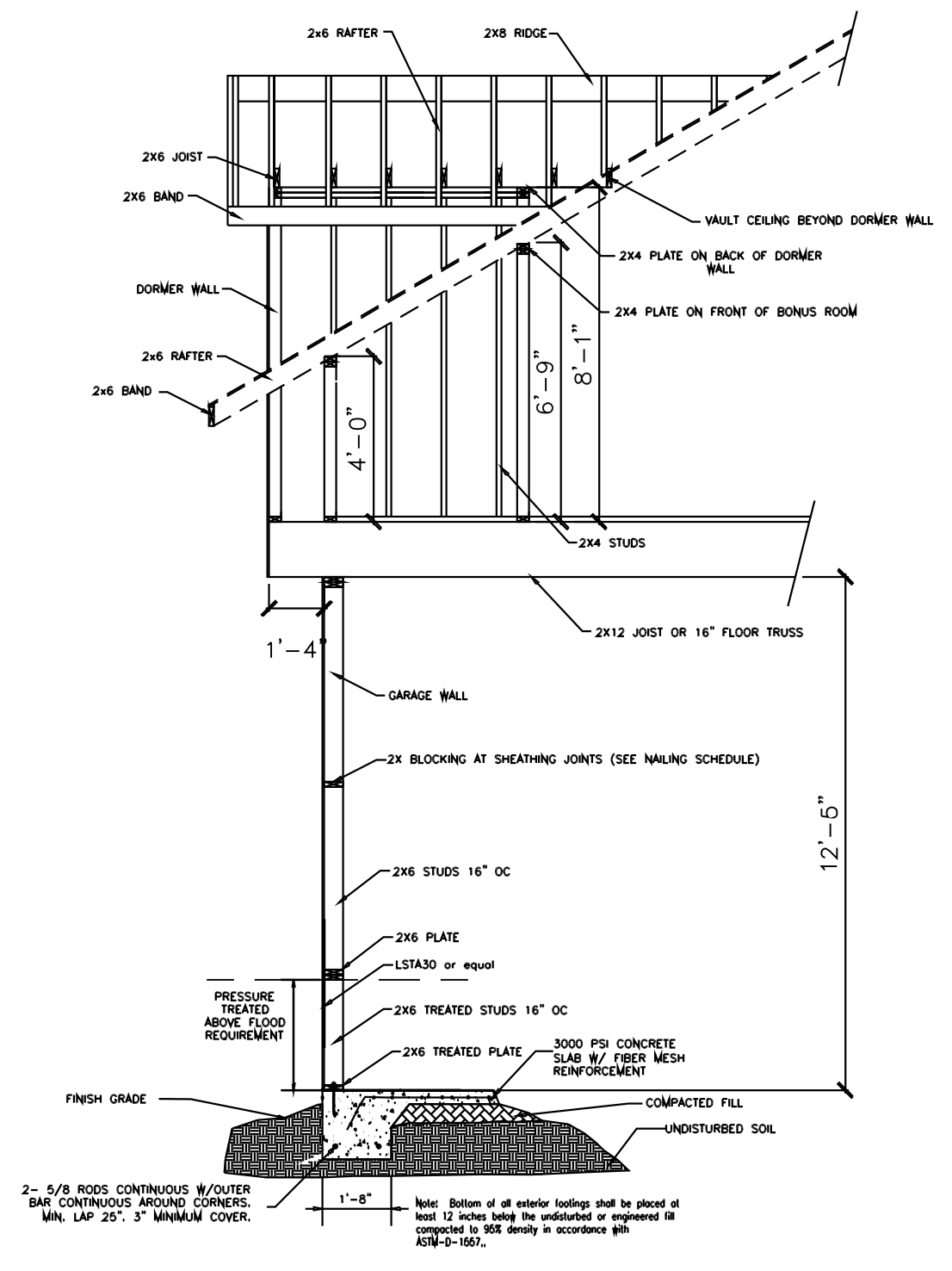
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SHEET -- OF --

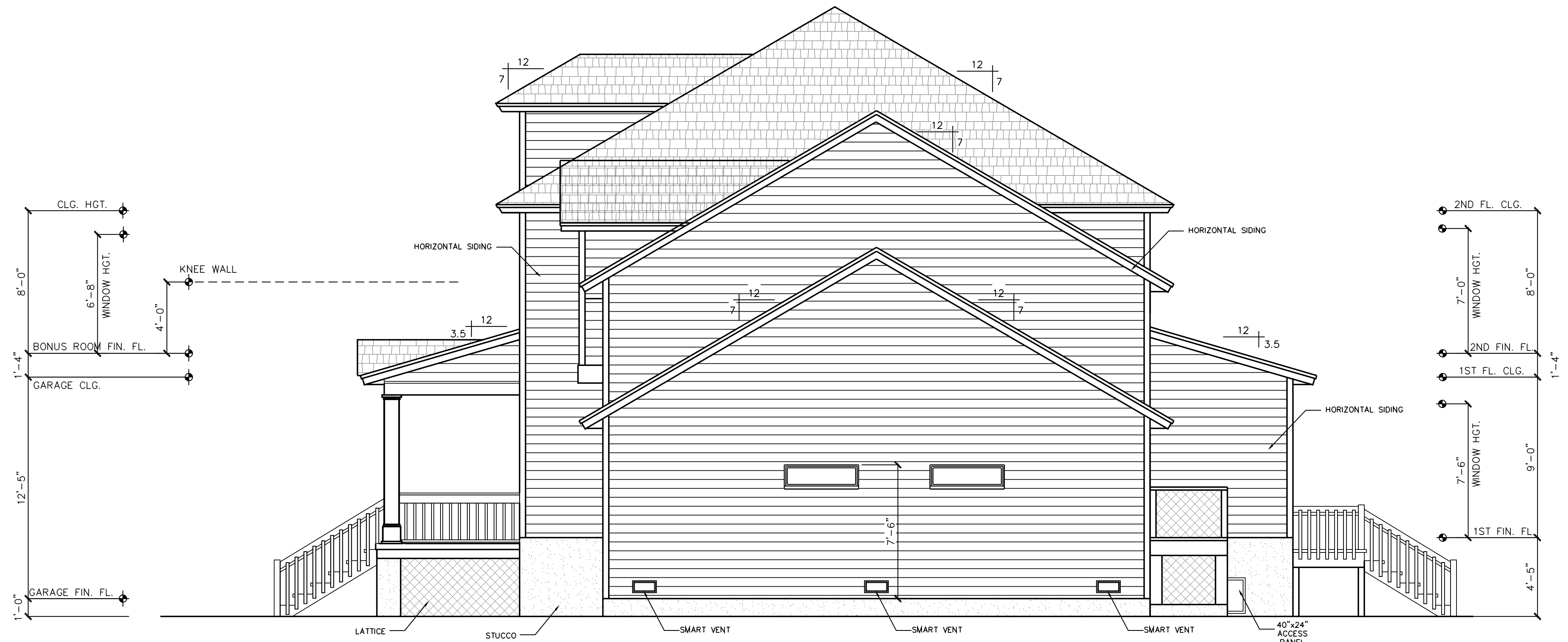
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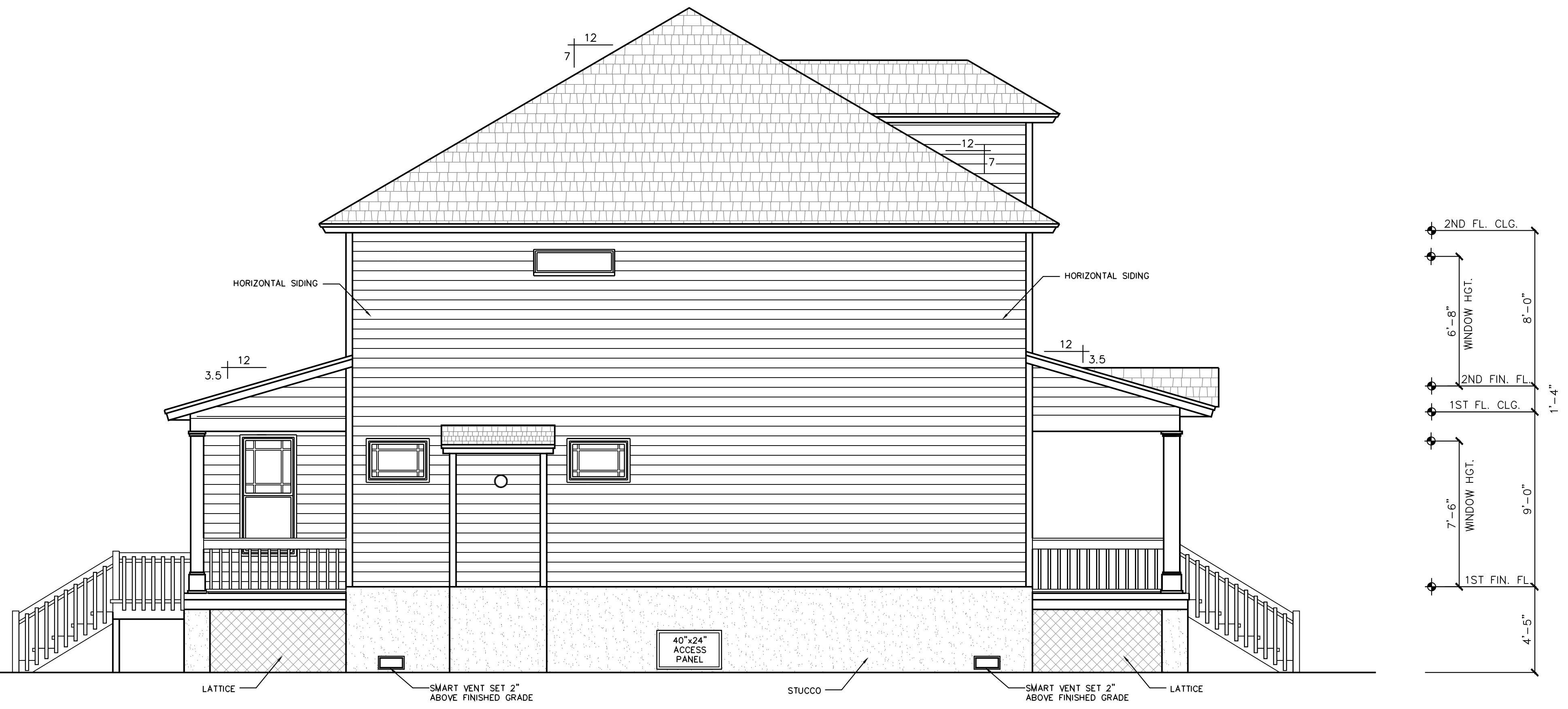
FOR CONSTRUCTION



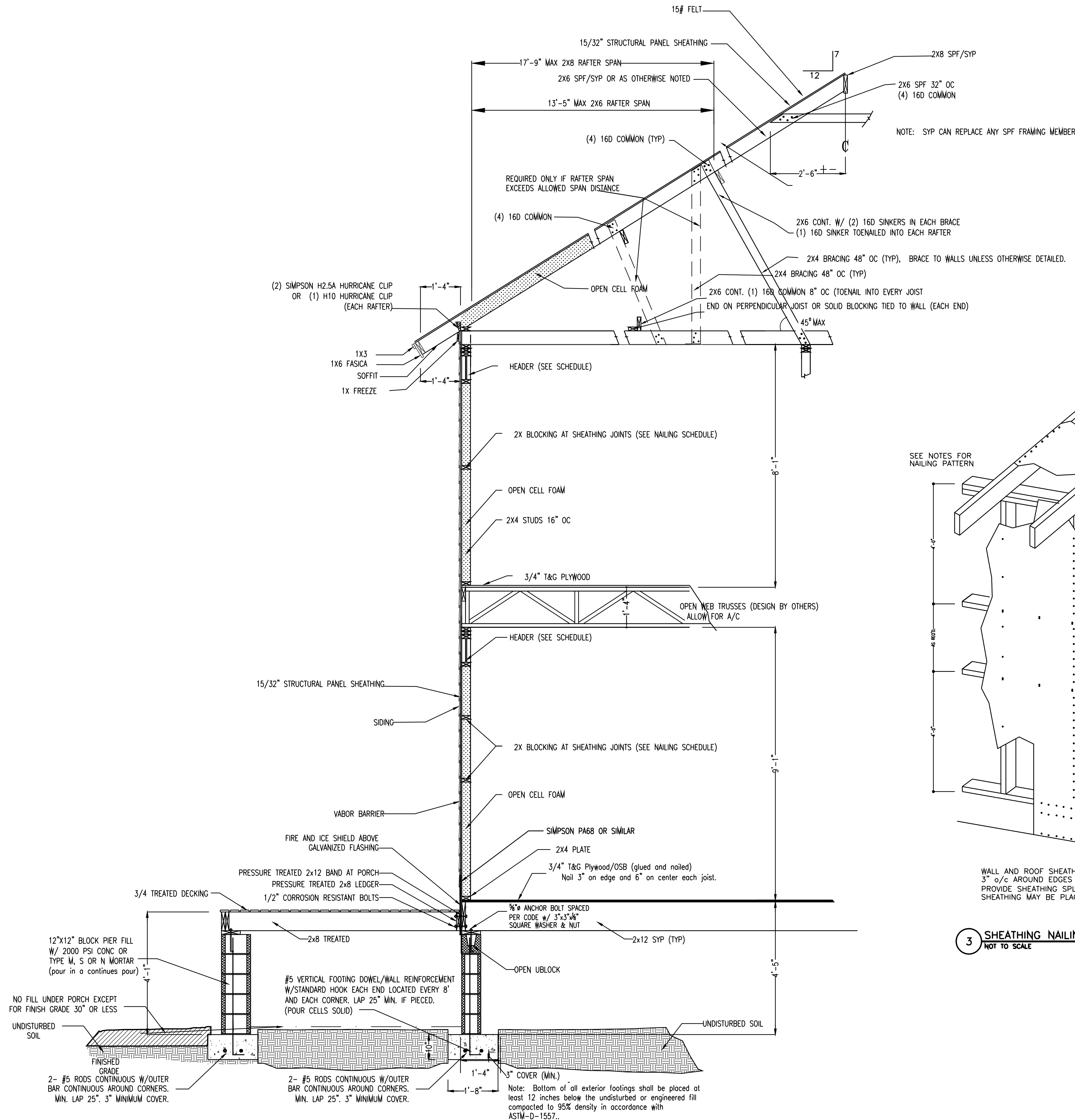
GARAGE/BONUS DETAIL
Scale 1/4" = 1'-0"



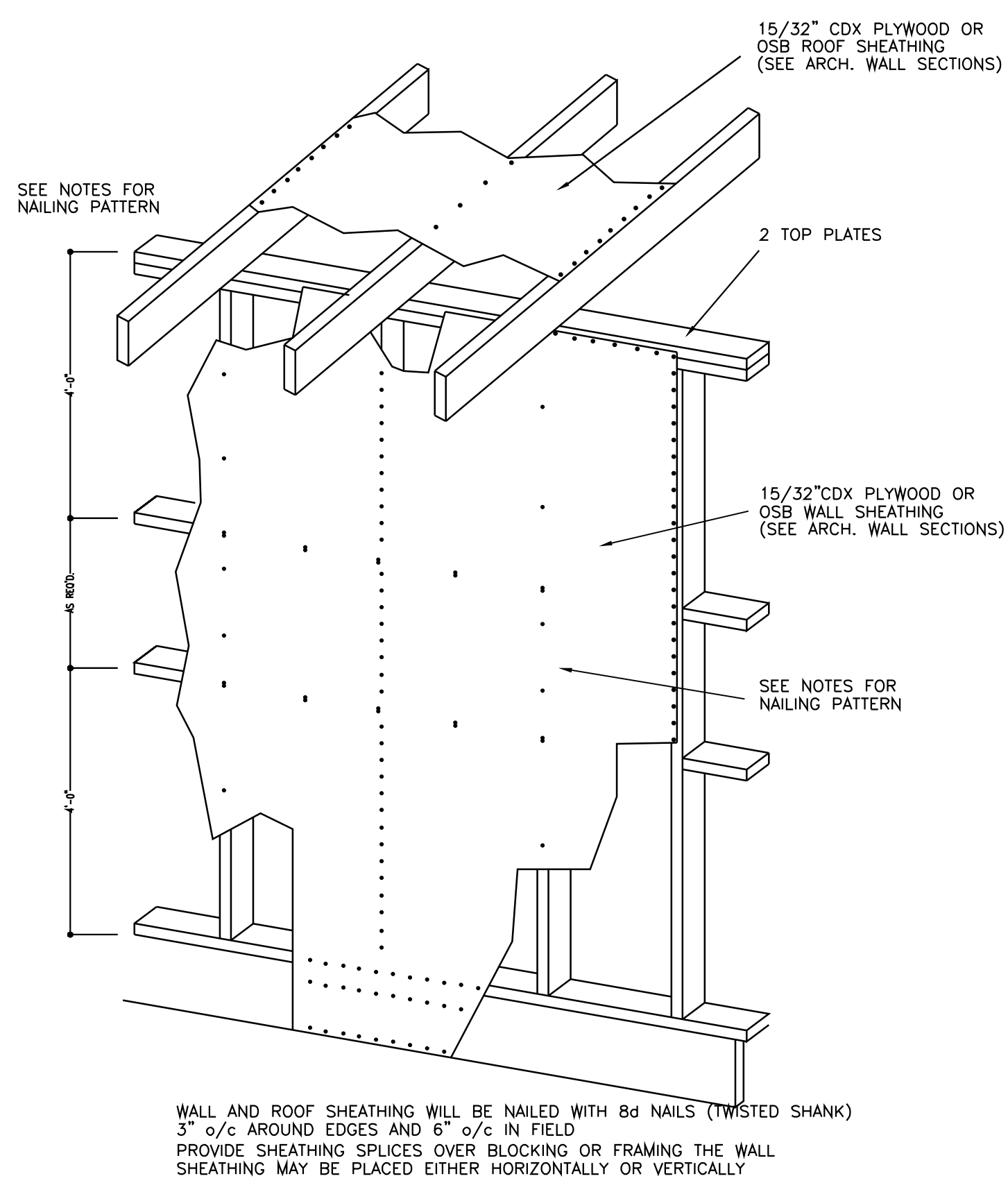
RIGHT ELEVATION
SCALE 1/4" = 1'



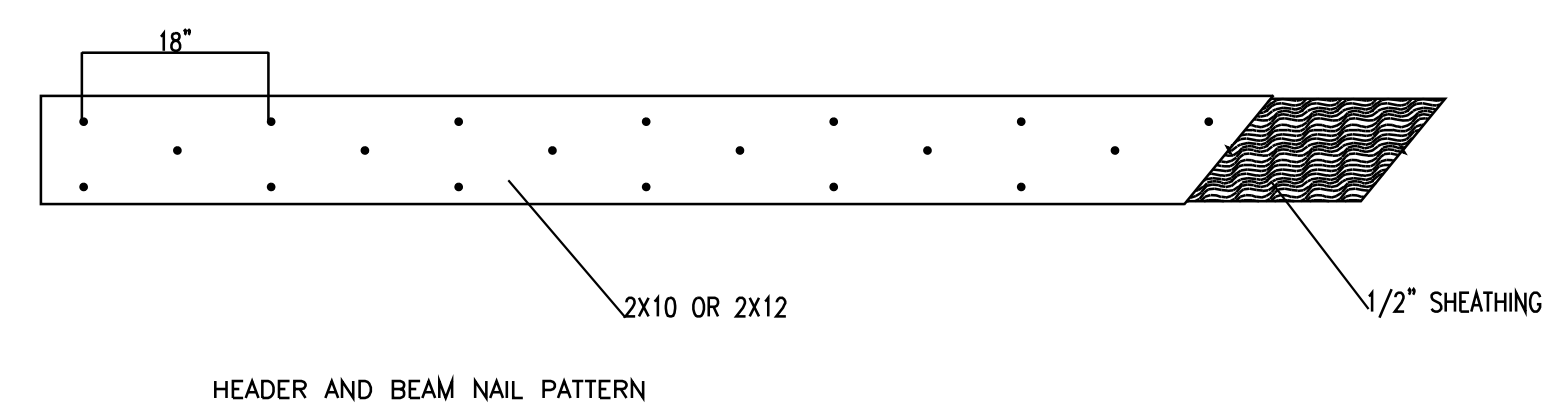
LEFT ELEVATION
SCALE 1/4" = 1'



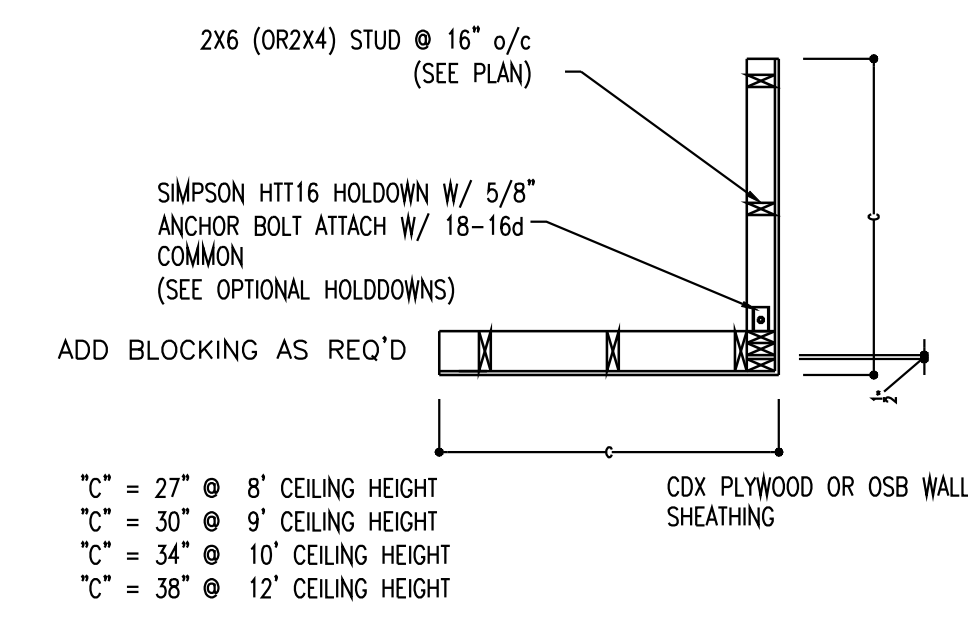
1 TYPICAL DETAIL SCALE 1/2" = 1'-0"



3 SHEATHING NAILING PATTERN (TYPICAL) NOT TO SCALE



5 BEAM AND HEADER NAILING PATTERN NOT TO SCALE



2 SHEARWALL REQUIREMENTS NOT TO SCALE

		MAXIMUM HEADER SPAN (FT.)			
		3 ft.	6 ft.	9 ft.	12 ft.
		NUMBER OF HEADER STUDS SUPPORTING EACH END OF THE HEADER			
		1	1	2	2
10' FEET OR LESS	STUD SPACING	NUMBER OF FULL LENGTH STUDS AT EACH END OF THE HEADER			
UNSUPPORTED WALL HEIGHT	16" o/c	2	2	3	3
GREATER THEN 10 FEET	16" o/c	2	2	3	3

DOOR AND WINDOW HEADER SCHEDULE: (WALLS 2X6'S @ 16" O.C.)

- (3) 2X8'S W/ (1/2) PLYWOOD FILLERS FOR UP TO 4'-0" OPENINGS
- (3) 2X10'S W/ (1/2) PLYWOOD FILLERS FOR UP TO 8'-0" OPENINGS
- (3) 2X12'S W/ (1/2) PLYWOOD FILLERS FOR UP TO 10'-0" OPENINGS

DOOR AND WINDOW HEADER SCHEDULE: (WALLS 2X4'S @ 16" O.C.)

- (2) 2X10'S UP TO 5'-0" OPENINGS
- (2) 2X10'S W/ (1/2) PLYWOOD FILLERS FOR UP TO 9'-0" OPENINGS (SEE NAILING PATTERN)
- (2) 2X12'S W/ (1/2) PLYWOOD FILLERS FOR UP TO 10'-0" OPENINGS

4 HEADER SCHEDULE NOT TO SCALE



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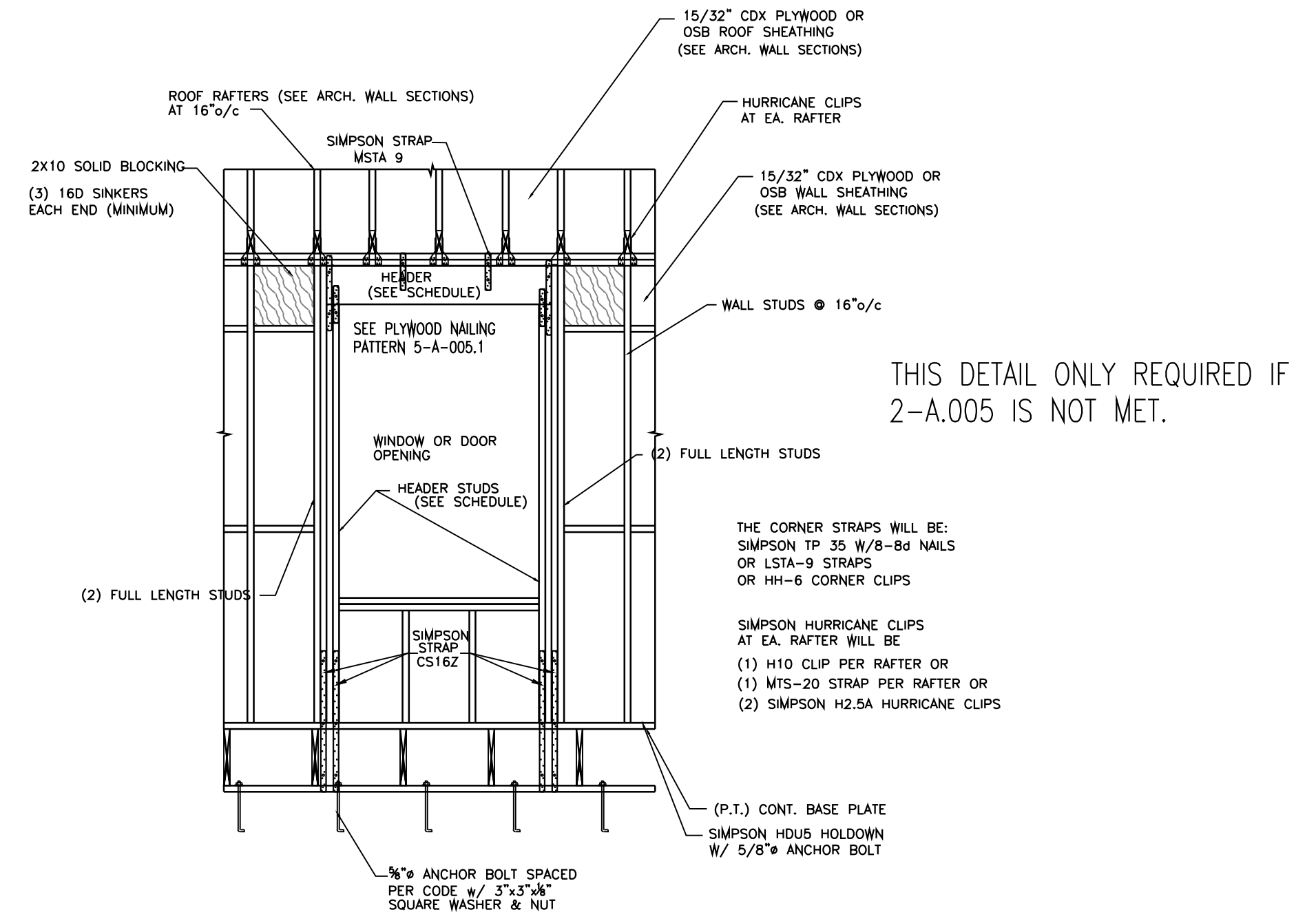
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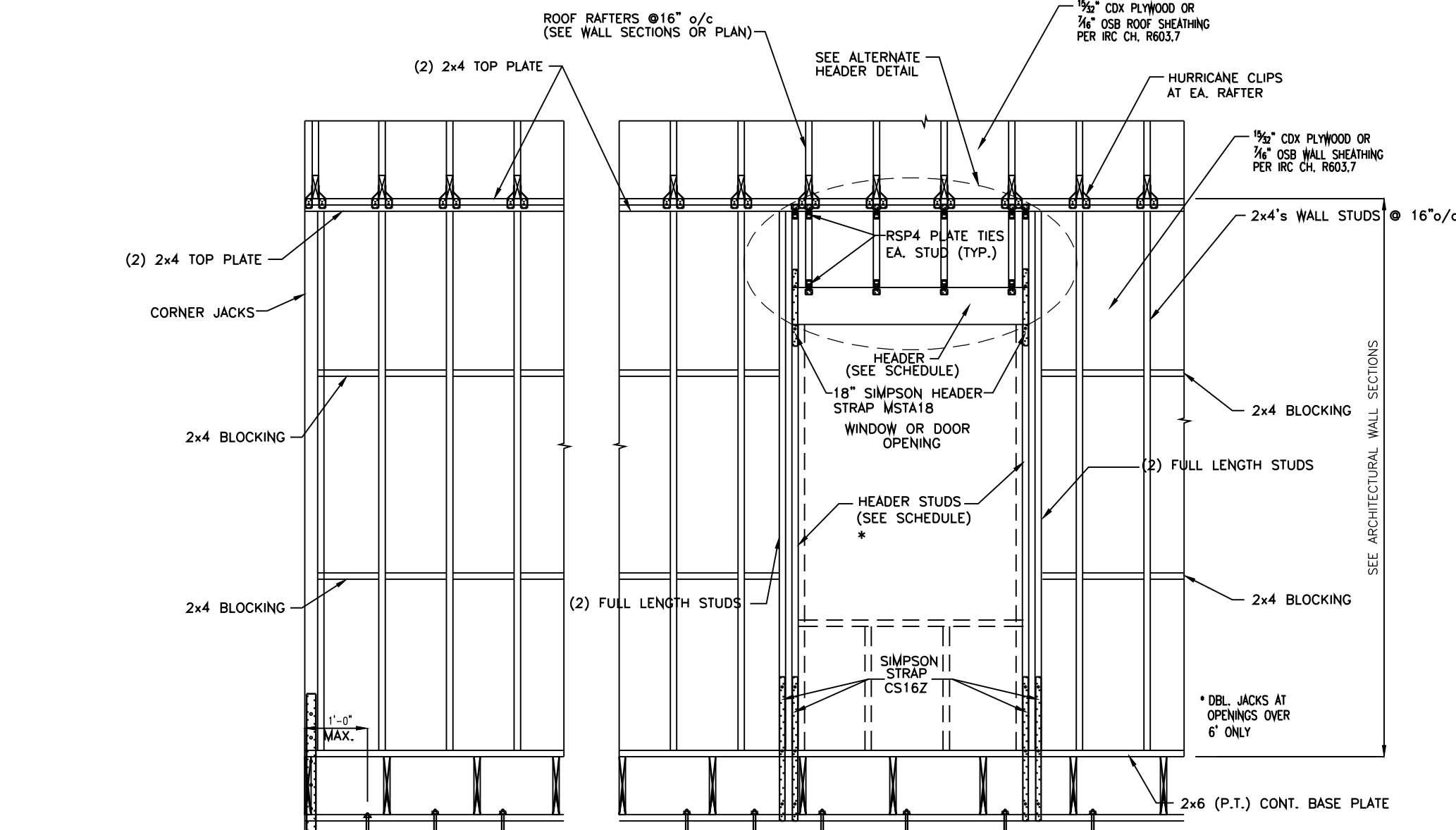
DATE: MARCH 22, 2016

PROJECT NO: ---
CAD DWG FILE: 0 DETAILS.DWG
DRAWN BY: ---
CHK'D BY: ---

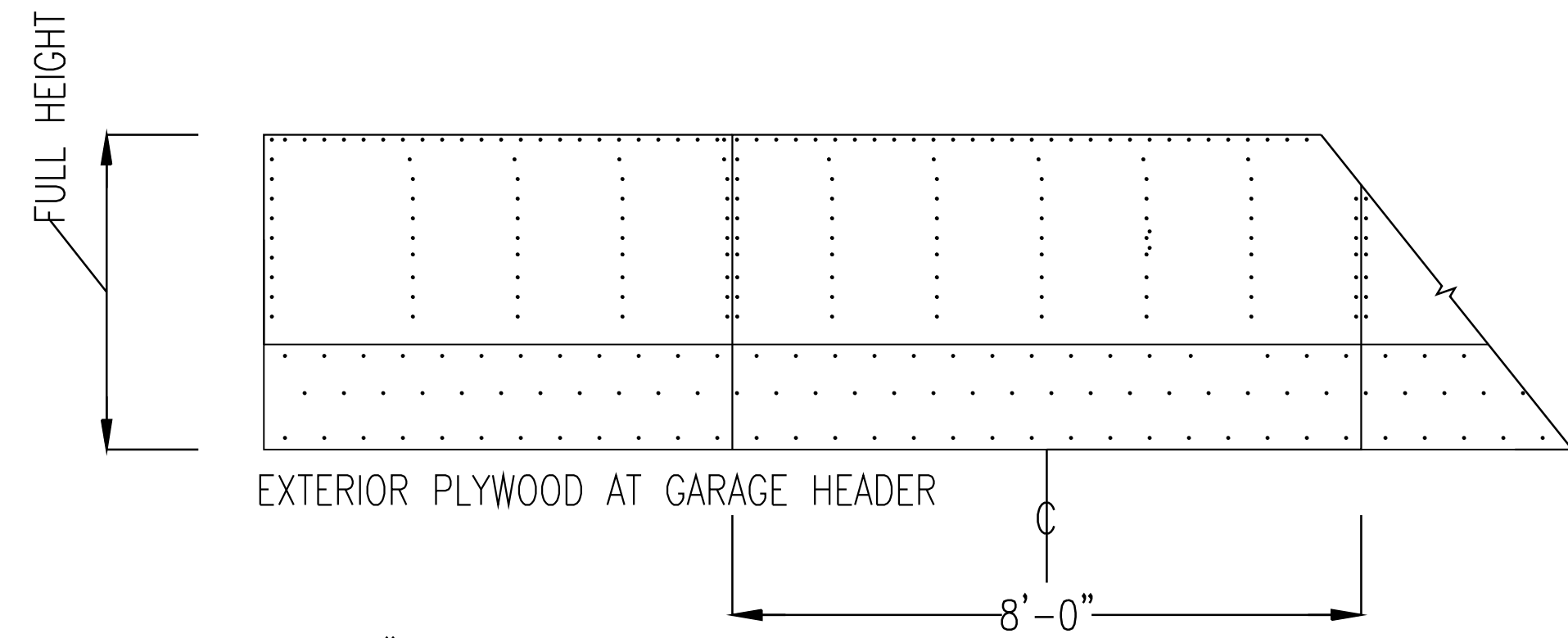
DETAILS
A5.0



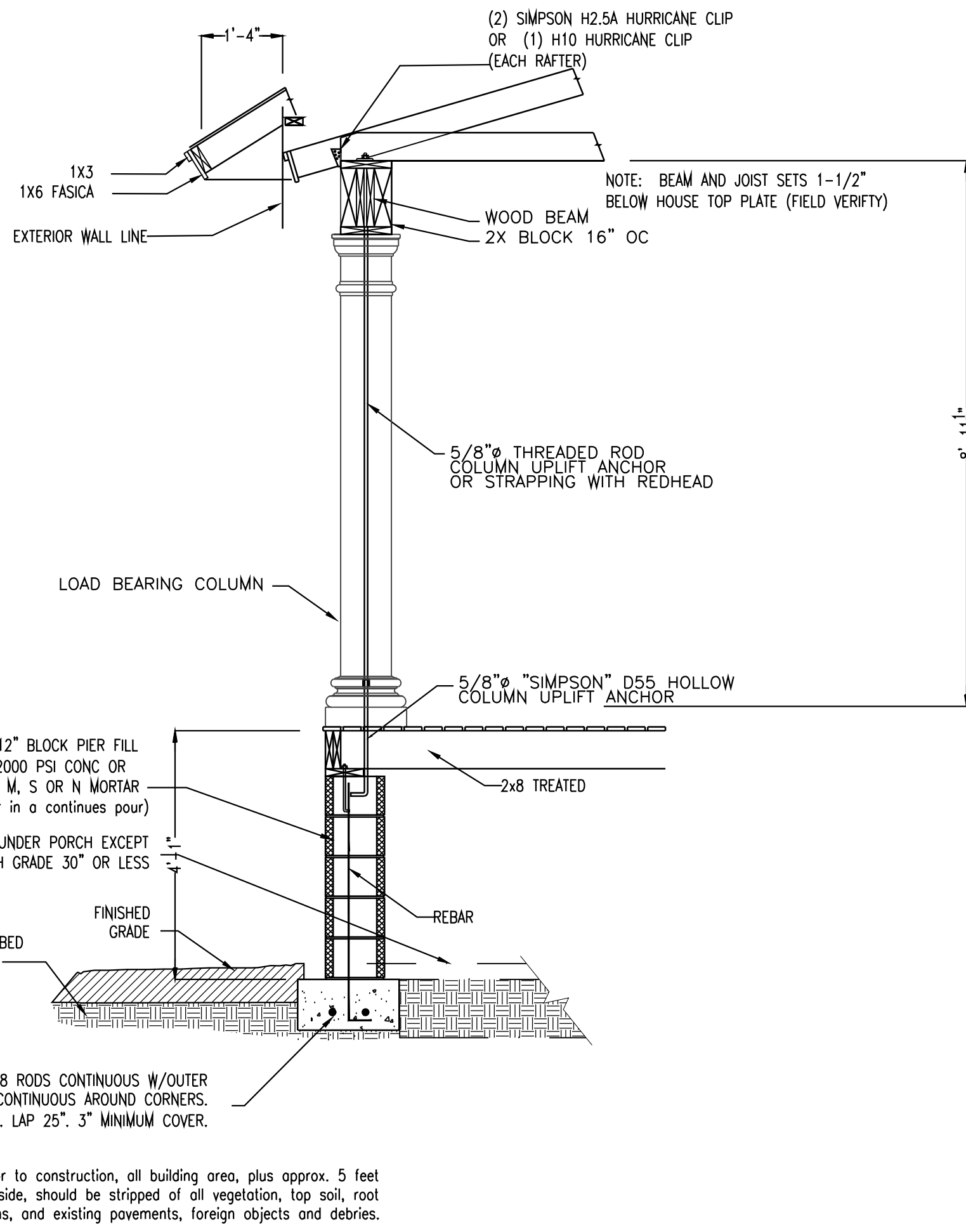
1 TYPICAL WOOD FRAMED SHEAR RESISTING RIGID FRAME
NOT TO SCALE



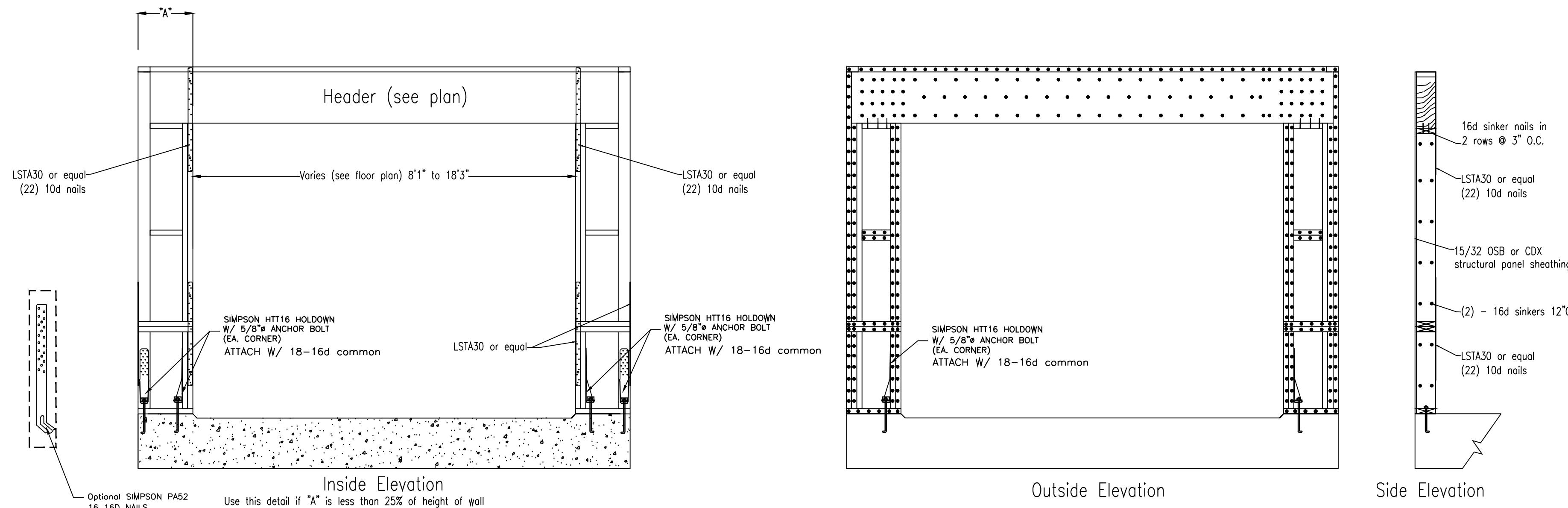
2 TYPICAL EXTERIOR 2X6 WALL ASSEMBLY
NOT TO SCALE



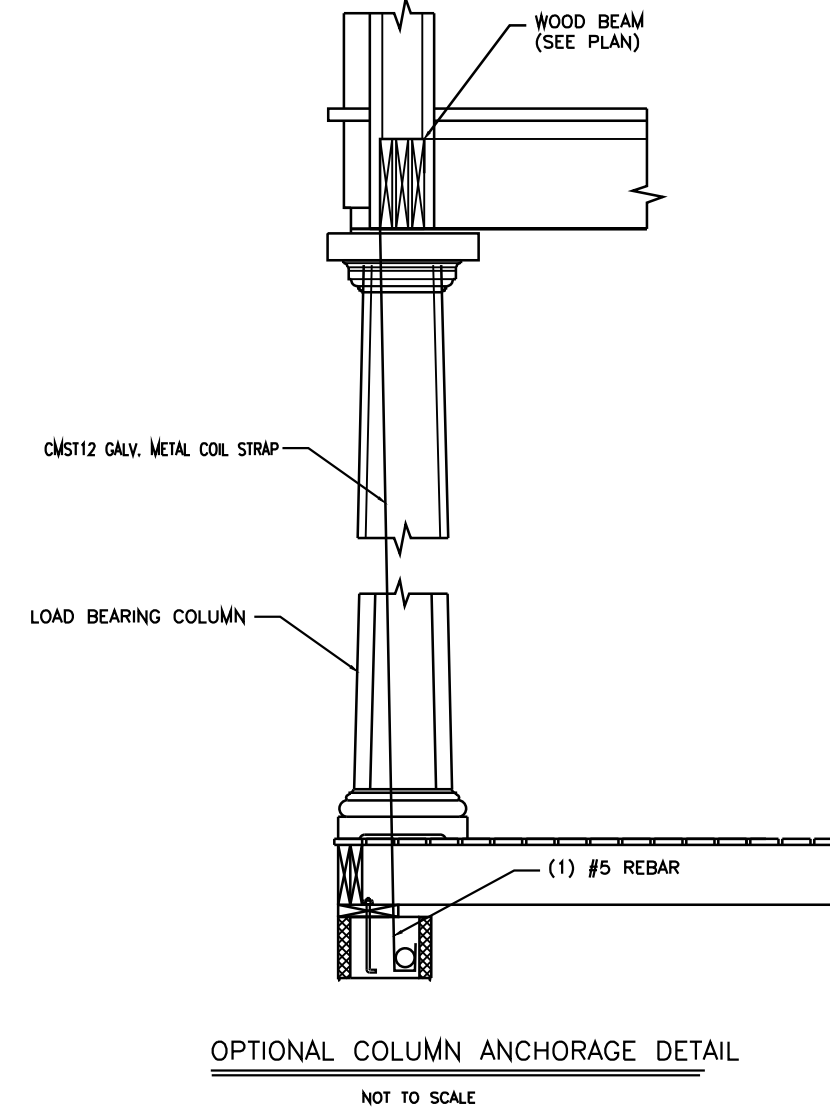
NAIL ALL EDGES 3" OC.
NAIL INTERIOR 6" OC W/8D COMMON SINKERS.
CERTER FIRST SHEET OF PLYWOOD ON BEAM



3 COLUMN ANCHORAGE DETAIL
NOT TO SCALE



4 Garage Door Detail
1/2" = 1'-0"



OPTIONAL COLUMN ANCHORAGE DETAIL
NOT TO SCALE



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DATE: ---
MARCH 22, 2016

PROJECT NO: ---
CAD DWG FILE: 1 DETAILS.DWG

DRAWN BY: ---
CHK'D BY: ---

A5.1 DETAILS - A5.1
DETAILS

SHOWCASE DESIGNS

Tuesday, March 26, 2024 7:42:37 AM

FOR CONSTRUCTION

GENERAL STRUCTURAL NOTES BUILDING DESIGN CHATHAM COUNTY GEORGIA

ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE FOLLOWING:
(A) INTERNATIONAL RESIDENTIAL CODE - 2012 (IRC-2012 W/ GA AMENDMENTS)
(B) STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH-WIND REGIONS ICC-600
(C) WOOD FRAME CONSTRUCTION MANUAL FOR ONE-AND TWO-FAMILY DWELLINGS (SBC HIGH-WIND EDITION)

DESIGN CRITERIA

2012 INTERNATIONAL BUILDING CODE FOR ONE AND TWO FAMILY DWELLINGS

- 1. FLOOR DEAD LOADS:

PARTITIONS	20 PSF
FIXED EQUIPMENT	ACTUAL WEIGHT
FINISHES	ACTUAL WEIGHT
- 2. FLOOR LIVE LOADS:

LIVING ROOMS	40 PSF
SLEEPING ROOMS	30 PSF
ATTIC W/O STORAGE	20 PSF
ATTIC W/O STORAGE	10 PSF
DECKS	40 PSF
BALCONIES	60 PSF
GUARDRAILS & HANDRAILS	200#
- 3. ROOF DEAD LOAD:

ROOFING	2.0 PSF
DECKING	2.0 PSF
INSULATION	6.0 PSF
HANGING & MISC. FRAMING	9.0 PSF
CEILING	5.0 PSF
FIXED EQUIPMENT	ACTUAL WEIGHT
- 4. ROOF LIVE LOADS:

TRIBUTARY AREA:	LIVE LOAD:
0 TO 200 SF	20 PSF
201 TO 600 SF	$L_r = 20 \times R_1$
	$R_1 = 1.2 - 0.001 A_1$
	(400 SF 16 PSF)
OVER 600 SF	12 PSF
- 5. WIND LOAD:

3 SECOND GUST WIND SPEED	$V_{3s} = 110$ MPH
(FIG. 1609)	
EQUIVALENT BASIC WIND SPEED	$V_{fm} = 90$ MPH
(TAB. 1609.3.1)	
ROOF NET UPLIFT	= 20 PSF
- 6. SEISMIC CRITERIA: (2012 IBC - SECT. 1615)

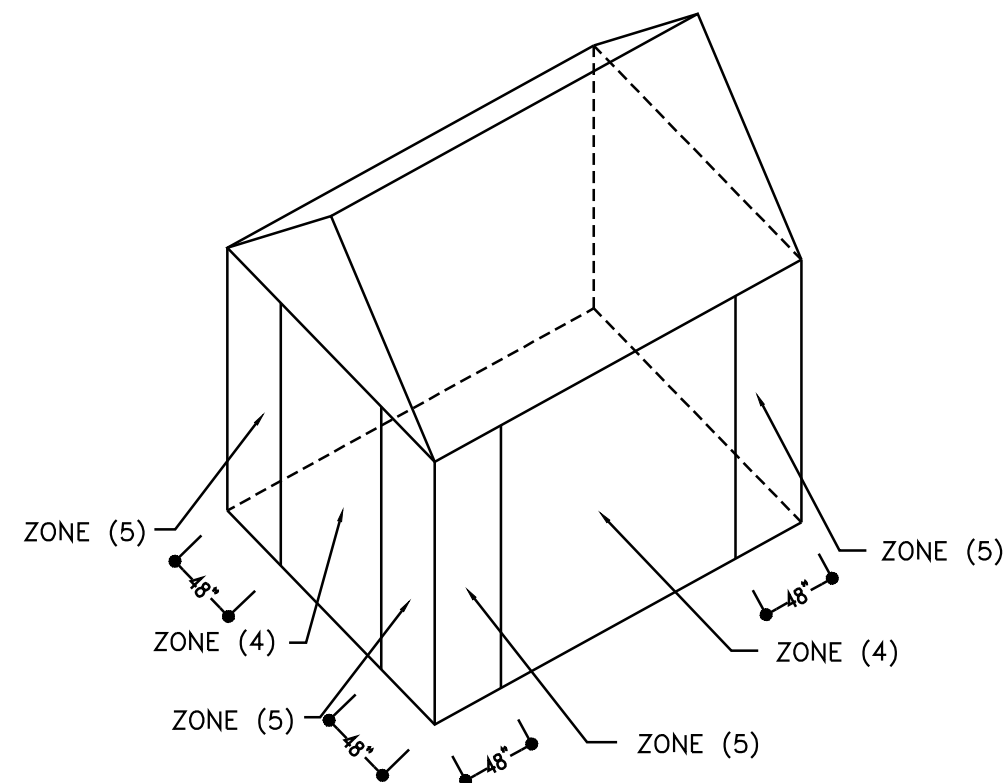
SITE CLASSIFICATION: SITE CLASS "D"	
AVERAGE "N" VALUES: BETWEEN 15 TO 50	
SPECTRAL RESPONSE ACCELERATION:	$S_s = 1.0, S_1 = 0.3$
SITE COEFFICIENT VALUES:	$F_0 = 1.1, F_v = 1.8$
- 7. LOAD COMBINATIONS:

DL + LL	100% BASIC STRESS
DL + WL	133% BASIC STRESS
DL + LL + WL	133% BASIC STRESS

WINDOW AND DOOR DESIGN PRESSURE RATINGS PER 2012 INTERNATIONAL BUILDING CODE

DESIGN PRESSURE VALUES LISTED IN THE TABLE ARE IN POUNDS PER SQUARE FOOT (PSF)

MEAN ROOF HEIGHT (MRH)	3 SECOND GUST WIND SPEED $V_{3s} = 110$ MPH		
	INLAND LOCATION (EXPOSURE "B")		
	(MRH)	ZONE (4)	ZONE (5)
	15'	DP 35	DP 45
	20'	DP 35	DP 45
	25'	DP 35	DP 45
	30'	DP 35	DP 45
	35'	DP 35	DP 45
	40'	DP 40	DP 45
	45'	DP 40	DP 50
	50'	DP 40	DP 50



GENERAL CONSTRUCTION NOTES:

ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES, ORDINANCES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS WORK WHETHER SHOWN IN THESE DOCUMENTS OR NOT. CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS.

CONTRACTOR SHALL SECURE AND PAY FOR ALL INSURANCE CALLED FOR BY LAW AND AS DIRECTED BY FUNDING INSTITUTIONS/COPIES OF INSURANCE CERTIFICATES SHALL BE FILED WITH THE ARCHITECT.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK, NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STANDARD BUILDING CODE, OSHA, ACI, AISC AND AITC CODES AND REQUIREMENTS AND ALL APPLICABLE STANDARDS.

GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND VENDOR DRAWINGS FOR COORDINATION OF EQUIPMENT IN AND/OR BENEATH SLABS.

CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED FOR A COMPLETED CONDITION ONLY AND THEREFORE REQUIRES ADDITIONAL ROOF DECKING AND WALL SHEATHING WILL BE INSTALLED AND ALL JOISTS AND GIRDERS SECURED PRIOR TO TEMPORARY BRACING ARE REMOVED.

TEMPORARY BRACING DESIGN INSTALLATION AND MAINTENANCE WILL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR AND/OR ERECTOR. TEMPORARY BRACING IS NOT A DESIGN FUNCTION OF THE STRUCTURAL ENGINEER.

SUBGRADE PREPARATION NOTES:

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

PRIOR TO CONSTRUCTION, ALL BUILDING AREA, PLUS APPROX. 5 FEET ON EACH SIDE, SHOULD BE STRIPPED OF ALL VEGETATION, TOP SOIL, ROOT SYSTEMS, ANY EXISTING PAVEMENTS, FOREIGN OBJECTS AND DEBRIS.

SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT WATER PONDING WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE STORM WATER RUN-OFF.

IF NECESSARY, THE SITE DEWATERING WILL BE EMPLOYED UNTIL THE FOUNDATIONS AND UTILITIES ARE IN PLACE. DEWATERING METHODS WILL BE SELECTED BY CONTRACTOR AND APPROVED BY ARCHITECT/ENGINEER.

ANY UTILITIES THAT UNDERLIE THE SITE, SHOULD BE RELOCATED AND THE TRENCHES BACKFILLED WITH APPROVED SUITABLE BACKFILL SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCHES THICK LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE EXPOSED SUBGRADE UNDER FOUNDATIONS AND SLABS WILL BE THEN LEVELED AND COMPACTED.

ALL OF THE EXPOSED SUBGRADE SHOULD BE COMPACTED BY REPEATED PASSES OF A VIBRATORY ROLLER. COMPACTION EFFORT SHOULD CONTINUE UNTIL THE SOIL UNDER FOOTINGS AND SLABS REACHED DENSITY OF 95% IN ACCORDANCE WITH ASTM D-1557 FOR A MINIMUM DEPTH OF 12 INCHES BELOW BOTTOM OF THE FOOTINGS AND SLABS.

ANY AREAS THAT BECOME UNSTABLE BENEATH COMPACTION EQUIPMENT SHOULD BE EXAMINED TO DETERMINE THE CAUSE. IF DUE TO UNSUITABLE SOIL, SUCH AS CLAY OR HIGHLY ORGANIC SOIL, THE AREA SHOULD BE UNDERCUT TO FIRM SOIL AND THE EXCAVATION BACKFILLED WITH APPROVED FILL COMPACTED TO 95% OF ITS DENSITY (IN ACCORDANCE WITH ASTM D-1557). IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE ACCEPTABLE SOIL, THE AREA SHALL BE AERATED OR OTHERWISE DRIED AND RECOMPACTED TO THE SPECIFIED DENSITY.

ALL OF THE FILL FOR THIS PROJECT SHOULD CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL WILL BE FREE OF ROOTS, CLAY LUMPS AND ANY DEBRIS. ALL OF THE FILL FOR THIS PROJECT WILL BE PLACED IN 8 TO 10 INCH THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

THE DESIGN SOIL BEARING PRESSURE IS 2000 PSF.

CAST IN PLACE CONCRETE, FOUNDATIONS AND FLOOR SLAB NOTES:

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS, UNLESS NOTED OTHERWISE.

MIXING AND PLACING OF CONCRETE SHALL BE PROVIDED WITH CONSIDERATION TO WEATHER CONDITIONS AT CONDITIONS AT THE TIME OF CONSTRUCTION.

CURING METHODS SHALL BE SELECTED BY CONTRACTOR AND ARCHITECT/ENGINEER APPROVED TO SUIT WEATHER THE TIME OF CONSTRUCTION. FOR COLD WEATHER IN ACCORDANCE WITH ACI 306, FOR HOT WEATHER IN ACCORDANCE WITH ACI 305.

WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES.

CONCRETE FINISHES SHALL BE SELECTED TO ACCOMMODATE FLOOR COVERINGS. SCRATCHED FINISH FOR SURFACES INTENDED TO RECEIVE BOND APPLIED CEMENTIOUS APPLICATIONS, TROWELED FINISH FOR EXPOSED INTERIOR SURFACES. NONSLIP, LIGHT BROOM FINISH FOR EXTERIOR EXPOSED SURFACES.

ALL FINISHES SHALL BE MINIMUM CLASS B TOLERANCES, EXCEPT FOR EXPOSED CONCRETE SURFACES WHICH SHALL MEET CLASS A REQUIREMENTS IN ACCORDANCE WITH ACI 301.

GENERAL CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.

UNLESS OTHERWISE NOTED, ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI SP-66, LATEST EDITION.

UNLESS OTHERWISE NOTED, ALL REINFORCING STEEL SHALL BE DEFORMED BARS, CONFORMING TO ASTM A615, GRADE 60.

ALL BAR SPLICES SHALL BE CLASS C TENSION LAP SPLICES, UNLESS OTHERWISE SHOWN. PROVIDE STD. CORNER BARS AT ALL CORNERS.

PROVIDE MINIMUM OF 3" OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY AGAINST GROUND.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.

WELDED WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH AT SIDE AND END LAPS AND BE WIRED TOGETHER.

ALL SLAB AND FOUNDATION REINFORCEMENT SHALL BE TIED IN PLACE PRIOR TO PLACING CONCRETE. HOLD UP REINFORCING WITH TYPICAL STANDARD CHAIRS.

REINFORCEMENT SHOWN SHALL BE USED AS DETAILING GUIDE. PROVIDE RE-BARS AS REQUIRED TO SUIT SPECIAL CONDITIONS.

CONTRACTOR SHALL COORDINATE EXACT ANCHOR BOLT LOCATIONS AND LAYOUT WITH BUILDING CODE REQUIREMENTS AND THIS DRAWINGS

BRICK NOTES:

BRICK VENEER SHALL BE INSTALLED IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION (BIA) TECHNICAL NOTES 28.

WALL TIES SHALL BE INSTALLED AS THE BRICK IS LAID SO THAT THE TIES ARE PROPERLY ALIGNED WITH THE MORTAR JOINTS.

LOCATE TIES WITHIN 8" OF DOOR AND WINDOW OPENINGS AND WITHIN 12" OF THE TOP OF VENEER SECTIONS.

BEND THE TIES AT A 90-DEGREE ANGLE AT THE NAIL HEAD IN ORDER TO MINIMIZE THE FLEXING WHEN THE TIES ARE LOADED IN TENSION OR COMPRESSION.

EMBED TIES IN JOINTS SO THAT MORTAR COMPLETELY ENCAPSULATES THE TIES. EMBED A MINIMUM OF 1.5" INTO THE BED JOINT, WITH A MINIMUM MORTAR COVER OF 5/8" TO THE OUTSIDE FACE OF THE WALL.

REINFORCED CONCRETE MASONRY NOTES:

ALL BLOCK CELLS ARE TO BE GROUTED SOLID FROM FINISHED FLOOR TO TOP OF FOOTING REGARDLESS IF BLOCK IS SCHEDULED TO BE REINFORCED OR NOT.

CONCRETE BLOCK MASONRY UNITS SHALL CONFORM TO ASTM C90, GRADE N, WITH A MINIMUM COMPRESSIVE STRENGTH $F'm = 2400$ PSI.

MORTAR AND MORTAR MATERIALS SHALL CONFORM TO THE PROPORTION SPECIFICATIONS OF ASTM C270, TYPE "S".

TO ASTM A82 AND SIZED TO FIT THE WALL WIDTH. REINFORCING SHALL BE GALVANIZED IN ACCORDANCE WITH HORIZONTAL WALL REINFORCING AND ANCHOR BOLTS EMBEDDED IN MASONRY SHALL BE COMPLETELY PROTECTED BY MORTAR.

REFER TO DRAWINGS FOR VERTICAL MASONRY WALL REINFORCEMENT AND CONCRETE FILL LOCATIONS.

VERTICAL MASONRY WALL REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60. REFER TO CONCRETE NOTES FOR VERTICAL REINFORCING DETAILING, FABRICATION AND INSTALLATION REQUIREMENTS.

VERTICAL REINFORCING TO BE LAPPED 24" (MIN.) AT DOWELS AND SPLICES.

VERTICAL REINFORCING WILL BE PLACED AT ALL OPENING JAMBS (#5) AND HOOKED AT LINTELS.

CONCRETE GROUT TO FILL VOIDS IN MASONRY UNITS SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH $F'c=3000$ PSI IN 28 DAYS. REFER TO CONCRETE NOTES FOR CONCRETE MIXING AND PLACEMENT REQUIREMENTS. CONCRETE AGGREGATE WILL BE 1/2" MAX.

METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION SHALL BE HOT DIP GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A 153, CLASS B-2.

ASTM A 641, CLASS I.

STRUCTURAL STEEL GENERAL NOTES

TOP OF STEEL ELEVATIONS SHOWN ON THE DRAWINGS ARE MEASURED FROM FIRST FLOOR FINISH ELEVATION, UNLESS NOTED OTHERWISE.

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO ERECTION AND FABRICATION TO INSURE PROPER ASSEMBLY OF ALL CONSTRUCTION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND ERECTION.

ALL STRUCTURAL STEEL, UNLESS NOTED OTHERWISE, WILL CONFORM TO THE REQUIREMENTS OF ASTM A36.

STRUCTURAL PIPE COLUMNS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A53, TYPE E OR S, GRADE B OR ASTM A501. STRUCTURAL STEEL TUBING (SQUARE OR RECTANGULAR) SHALL CONFORM TO THE REQUIREMENTS OF ASTM A501 OR ASTM A500, GRADE B.

UNLESS OTHERWISE NOTED, ALL FIELD CONNECTIONS SHALL BE MADE WITH 3/4" DIA. HIGH STRENGTH BOLTS (ASTM A-325N). CONNECTIONS SHALL BE DESIGNED AS BEARING TYPE WITH THREADS IN SHEAR PLANE.

ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE REQUIREMENTS OF THE AISC SPECIFICATIONS FOR BUILDINGS, LATEST EDITION.

UNLESS OTHERWISE SHOWN, ALL BEAM CONNECTIONS SHALL BE STANDARD FRAMED OR SEATED CONNECTIONS AS SHOWN IN PART 4 OF THE AISC MANUAL OF STEEL CONSTRUCTION.

ALL WELDING SHALL BE WITH E70XX ELECTRODES IN ACCORDANCE WITH AWS D1.1 AND EXECUTED WITH WELDERS QUALIFIED IN ACCORDANCE WITH REQUIREMENTS OF AWS D1.1.

ANCHOR BOLTS SHALL CONFORM TO ASTM A307, ANCHOR BOLT NUTS TO ASTM A563.

ALL COLUMN ANCHOR BOLTS HOLES TO BE OVERSIZED IN ACCORDANCE WITH RECOMMENDATIONS OF AISC MANUAL FOR DETAILING FOR STEEL CONSTRUCTION.

GROUT UNDER COLUMN BASE PLATES SHALL BE NON-SHRINK, MASTER BUILDERS, "MASTERFLOW 713" OR "FIVE STAR GROUT" BY U.S. GROUT CORP., OR "CRYSTEX" BY L&M CONSTRUCTION CHEMICALS, INC. OR EQ. MIXED AND PLACED ACCORDING TO MANUFACTURERS RECOMMENDATIONS.

STANDARD SHOP PAINT SHALL BE RED ALKYD ZINC CHROMATE PRIMER PER FED. SPEC. TTP-636 OR EQ. PROVIDED PER APPROVED MANUFACTURER STANDARD. REFER TO ARCH. SPECIFICATIONS FOR FINISH COAT REQUIREMENTS.

STEEL SURFACE SHALL BE CLEANED IN ACCORDANCE WITH SSPC-SP3, FOR PREPARATION PRIOR TO PRIMER PAINTING, UNLESS REQUIRED OTHERWISE BY PRIMER MANUFACTURER. ALL WELDED, BURNED, OR OTHERWISE DAMAGED AREAS SHALL BE REPAIRED AND RECOATED IN ACCORDANCE WITH COATING MATERIAL MANUFACTURER'S RECOMMENDATIONS.

CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION, AS OUTLINED FROM AISC SPEC. SECT. 1.25-ERECTION. THE STRUCTURE IS DESIGNED FOR A COMPLETED CONDITION ONLY AND THEREFORE REQUIRES ADDITIONAL TEMPORARY SUPPORTS TO MAINTAIN STABILITY BEFORE COMPLETION.

WALLS, FLOORS AND ROOF FRAMING GENERAL NOTES

COORDINATE LAYOUT OF FRAMING MEMBERS WITH ALL TRADES TO INSURE THAT JOISTS, RAFTERS AND PLATES ARE NOT EXTENSIVELY NOTCHED, CUT OR BORED. REFER TO STANDARD BUILDING CODE AND AITC MANUAL FOR ALLOWABLE CUTTING NOTCHING AND BORING OF FRAMING MEMBERS. TRUSSES SHALL NOT BE CUT, NOTCHED OR BORED WITHOUT ARCHITECT'S APPROVAL.

THE ENGINEERING OF FRAMING MEMBERS IS BASED ON NO. 2 SOUTHERN YELLOW PINE. FB = 1200 PSI, E = 1,200,000 PSI. SUBSTITUTION MUST BE APPROVED BY THE ENGINEER BEFORE USING.

ALL CONNECTION STEEL ANGLES, PLATES AND BOLTS AT MASONRY WALLS SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A-153.

ALL LUMBER IN CONTACT WITH CONCRETE, MASONRY, GROUND OR OTHERWISE NOTED ON THE DRAWINGS WILL BE PRESSURE TREATED IN ACCORDANCE WITH AWPI STANDARD LP-2.

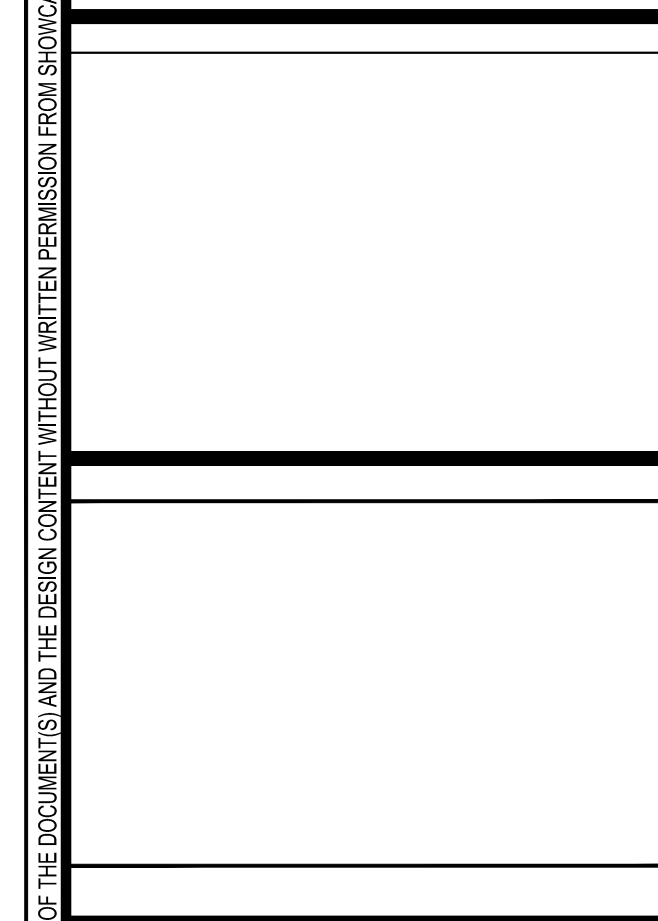
ALL PLYWOOD SHEATHING WILL BEAR THE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND WILL MEET THE REQUIREMENTS OF PS1-83 OR APA PRP-108. ALL PANELS PERMANENTLY EXPOSED TO THE WEATHER WILL BE CLASSIFIED "EXTERIOR". APPLICATION WILL BE IN ACCORDANCE WITH RECOMMENDATIONS PLYWOOD ASSOCIATION. ALL OSB BOARD SHEATHING WILL BE "EXTERIOR GRADE" EXCEPT ON INTERIOR WALLS.

CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED FOR A COMPLETED CONDITION ONLY AND THEREFORE REQUIRES ADDITIONAL TEMPORARY SUPPORTS TO MAINTAIN STABILITY BEFORE COMPLETION.

ROOF DECKING AND WALL SHEATHING WILL BE INSTALLED AND ALL JOISTS AND GIRDERS SECURED PRIOR TO TEMPORARY BRACINGS ARE REMOVED.

TEMPORARY BRACING DESIGN, INSTALLATION AND MAINTENANCE WILL BE AT ALL TIMES THE RESPONSIBILITY OF THE CONTRACTOR AND/OR ERECTOR. TEMPORARY BRACING IS NOT A DESIGN FUNCTION OF THE STRUCTURAL ENGINEER.

WALL AND ROOF SHEATHING WILL BE NAILED WITH 8d NAILS (TWISTED SHANK) 3"o/c AROUND EDGES AND 6"o/c IN FIELD.



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MARCH 22, 2016

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DETAILS
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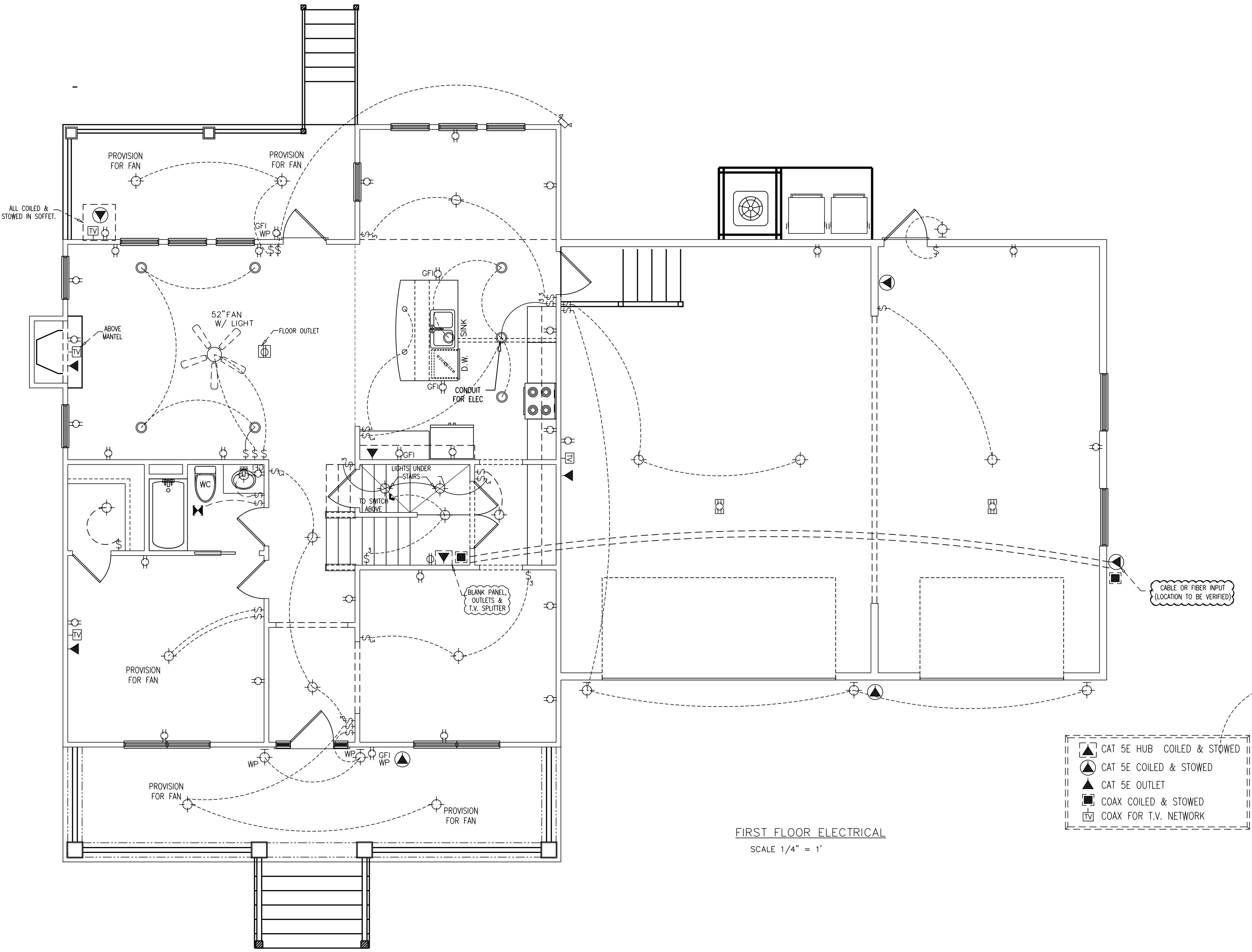
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CAD DWG FILE: 1 ELECTRICAL PLAN.DWG
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A6.1 ELECTRICAL PLAN -
A6.1 ELECTRICAL PLAN

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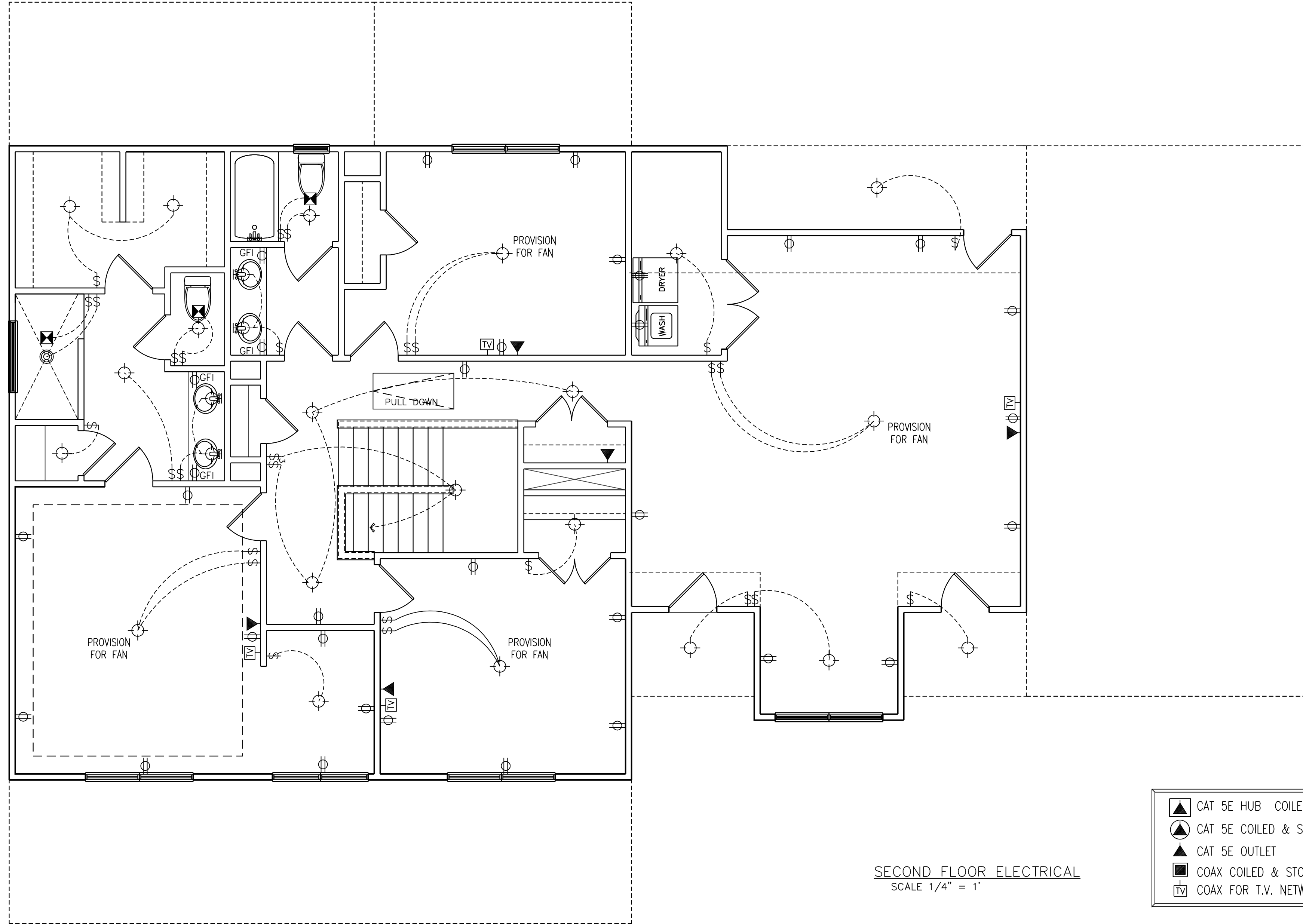
FIRST FLOOR ELECTRICAL
SCALE 1/4" = 1'

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SECOND FLOOR ELECTRICAL
SCALE 1/4" = 1'

- ▲ CAT 5E HUB COILED & STOWED
- △ CAT 5E COILED & STOWED
- ▲ CAT 5E OUTLET
- COAX COILED & STOWED
- TV COAX FOR T.V. NETWORK




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A6.2 ELECTRICAL PLAN -
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